



Arlington Conservation Commission

Date: Thursday, March 17, 2022

Time: 7:00 PM

Location: Conducted by Remote Participation

Pursuant to State Legislation suspending certain provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the March 17, 2022, public meeting of the Arlington Conservation Commission shall be physically closed to the public to avoid group congregation. The meeting shall instead be held virtually using Zoom.

Agenda

1. Administrative
 - a. Roll Call Attendance
 - b. Approval of February 3, 2022, Meeting Minutes
 - c. Approval for expenditure from state fees account for Airtable for permit tracking automation
Conservation Agent David Morgan proposes using a hosted service called Airtable for notifying applicants, staff, and commission members of upcoming deadlines.
 - d. Park and Recreation Committee Liaison Cathy Garnett will report from the most recent committee meeting.
2. Hearings

26 Spy Pond Parkway RDA and COC

Work is proposed to be conducted within the 100-foot Buffer Zone to Spy Pond as well as Bordering Land Subject to Flooding (FEMA Zone AE). Renovations include building a new deck and replacement of the existing patio.

The applicant has requested a Certificate of Compliance for a second-floor addition, for which an Order of Conditions was issued in 2015 (DEP #091-264).

Hurd Field with Arlington Reservoir Bridge Extension Amendment

This public hearing will consider a Notice of Intent for renovations to Hurd Field located at 0 Massachusetts Avenue and 0 Lowell Street (off Drake Road). Work is proposed to be conducted within the Riverfront Area to Mill Brook, Bordering Land Subject to Flooding (FEMA Zones AE and X, Floodway), the 100-foot Buffer Zone to Bordering Vegetated Wetlands and the Adjacent Upland Resource Areas. Renovation includes regrading and reorienting the athletic fields, upgrading field lighting, and constructing a pedestrian loop path, irrigation system, and other new amenities.

Note: The Hurd Field NOI now includes work on the bridge over Mill Brook to Arlington Reservoir, which was formerly proposed as an amendment to the Order of Conditions for the Reservoir improvements.

Colonial Village Drive

This public hearing will consider a Notice of Intent to reconstruct all on-site parking and access driveways and curbing, as well as installation of stormwater management systems and conduct site grading at Colonial Village Drive. All work is proposed to be conducted within the 100-foot Buffer Zone to the Inland Bank of a perennial stream that flows from the Arlington Reservoir, the 200-foot Riverfront Area associated with Mill Brook, and Bordering Land Subject to Flooding (FEMA Zone AE).



Town of Arlington, Massachusetts

Approval for expenditure from state fees account for Airtable for permit tracking automation

Summary:

Approval for expenditure from state fees account for Airtable for permit tracking automation
Conservation Agent David Morgan proposes using a hosted service called Airtable for notifying applicants, staff, and commission members of upcoming deadlines.

ATTACHMENTS:

Type	File Name	Description
□ Reference Material	Airtable.pdf	Airtable Plus Plan Pricing



✨ Checkout

You've selected the **Plus plan** for My First Workspace, billed Annually at \$120 per user per year.

1 user \$144 per year

Annual plan savings -\$24

Apply up to \$20 in credit

Total \$120

Enter your payment details Secure form



Card number

MM / YY CVC

You will be charged **\$120** now.

You will then owe \$120 on March 11th of every following year. We will automatically update your account balance if you change plans or add or remove collaborators. ?

We only issue refunds in the form of Airtable credits, so please verify that this amount is correct. ?

[Upgrade](#)

[Cancel](#)



Town of Arlington, Massachusetts

26 Spy Pond Parkway RDA and COC

Summary:

Work is proposed to be conducted within the 100-foot Buffer Zone to Spy Pond as well as Bordering Land Subject to Flooding (FEMA Zone AE). Renovations include building a new deck and replacement of the existing patio.

The applicant has requested a Certificate of Compliance for a second-floor addition, for which an Order of Conditions was issued in 2015 (DEP #091-264).

ATTACHMENTS:

Type	File Name	Description
□ Reference Material	26_Spy_Pond_Parkway_COC_Package.pdf	26 Spy Pond Parkway RDA and COC



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

91-264

Provided by DEP

A. Project Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. This request is being made by:

Samit and Ann Chhabra

Name

26 Spy Pond Pkwy

Mailing Address

Arlington

City/Town

MA

02474

617.416.3882

Phone Number

State

Zip Code



2. This request is in reference to work regulated by a final Order of Conditions issued to:

Samit and Ann Chhabra

Applicant

9/21/2015

Dated

91-264

DEP File Number

Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

3. The project site is located at:

26 Spy Pond Pkwy

Street Address

Map 21, Block 2

Assessors Map/Plat Number

Arlington

City/Town

Lot 4

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Samit and Ann Chhabra

Property Owner (if different)

Middlesex

County

62470

Book

520

Page

Certificate (if registered land)

5. This request is for certification that (check one):

the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

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Provided by DEP

A. Project Information (cont.)

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

B. Submittal Requirements

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).

Miller Design LLC

Transmittal

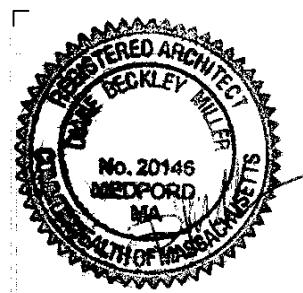
Date: March 10, 2022

To: Samit Chhabra
From: Diane Miller
CC:
Re: final certification for 26 Spy Pond Parkway, Arlington

Comments:

I hereby certify that the work completed at 26 Spy Pond Parkway was consistent with and in conformance with the construction documents dated 7/24/15, revised 4/11/16, provided by my office, Miller Design LLC.

Thank you,
Diane Miller



GENERAL NOTES:

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
9. HVAC CONTRACTOR TO REPLACE / UPGRADE EXISTING HVAC SYSTEM TO ACCOMMODATE NEW ADDITION, INCLUDING NEW FURNACE, CONDENSORS, DUCTS, SUPPLY AND RETURN VENTS AND ALL OTHER NECESSARY COMPONENTS.
10. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE. CONTRACTOR TO SUBMIT SWITCHING LOCATIONS TO OWNER / ARCHITECT FOR APPROVAL. CONTRACTOR TO UPGRADE ELECTRIC PANEL IF NEEDED TO SUPPORT NEW LAYOUT.
11. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
12. ALL INTERIOR WOOD TRIM AND WOOD BASE TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
13. EXISTING HARDWOOD FLOORS IMPACTED BY THE ADDITION TO BE SANDED AND REFINISHED.
14. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
15. ALL INTERIOR AND EXTERIOR WALLS TO BE 2X4 CONSTRUCTION, UNLESS NOTED OTHERWISE.
16. R13 BATT INSULATION TO BE PROVIDED IN ALL NEW BEDROOM AND BATHROOM INTERIOR WALLS. R25 BATT INSULATION TO BE PROVIDED IN ALL NEW BEDROOM AND BATHROOM FLOORS .

17. CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/ BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.

WINDOW SCHEDULE:

ALL WINDOWS TO BE HARVEY TO MATCH EXISTING. WINDOW SPECIFICATIONS TO BE APPROVED BY OWNER. EXACT DIMENSIONS MAY BE ADJUSTED TO MEET STANDARD SIZING AVAILABLE, WITH OWNER'S CONSENT.

WINDOW A: DOUBLE-HUNG - 2'-6"W X 4'-0"H, SILL AT 2'-8" AFF - TILT-WASH TO MEET EGRESS REQUIREMENTS FOR BEDROOMS (MIN 24'H X 20"W AND 3.3 CLEAR OPENING).

WINDOW B: DOUBLE-HUNG - 1'-6"W X 3'-0"H, SILL AT 3'-8" AFF

WINDOW C: DOUBLE-HUNG - 2'-6"W X 4'-8"H, SILL AT 2'-0" AFF

WINDOW D: FIXED GLASS - 4'-8"W X 4'-8"H, SILL AT 2'-0" AFF

WINDOW E: DOUBLE-HUNG - 3'-3"W X 4'-0"H, SILL AT 2'-8" AFF - TILT-WASH TO MEET EGRESS REQUIREMENTS FOR BEDROOMS (MIN 24'H X 20"W AND 3.3 CLEAR OPENING).

WINDOW F: SLIDER - 4'-0"W X 5'-2"H, SILL AT 1'-6" AFF

DOOR SCHEDULE:

ALL INTERIOR DOORS TO BE SOLID WOOD DOORS TIME, SELECTED BY OWNER.

DOOR 1: MUD ROOM TO CLOSET - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 2: HALLWAY TO BATH- 2'-6"W X 6'-8"H WOOD DOOR

DOOR 3: BEDROOM 2 TO CLOSET- 2'-6"W X 6'-8"H WOOD DOOR

DOOR 4: HALLWAY TO BEDROOM 3 - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 5: BEDROOM 3 TO CLOSET - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 6: BEDROOM 3 TO BATH - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 7: BEDROOM 3 TO CLOSET - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 8: HALL TO LAUNDRY - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 9: HALL TO BATH ROOM - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 10: HALL TO BEDROOM 5 - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 11: HALL TO BEDROOM 4 - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 12: BEDROOM 5 TO CLOSET - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 13: BEDROOM 4 TO CLOSET - 2'-6"W X 6'-8"H WOOD DOOR

DOOR 14: BEDROOM 3 TO BALCONY - 2'-10"W X 6'-8"H 15 LITE FRENCH DOOR

DOOR 15: FOYER TO MUD ROOM - 2'-6"W X 6'-8"H WOOD POCKET DOOR

DOOR 16: HALL TO LINEN CLOSET - 2'-0"W X 6'-8"H WOOD DOOR

ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2009 W/ MASSACHUSETTS AMENDMENTS 780 CMR 115.11).

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R38 ROOF R-VALUE, R20 WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

CONSTRUCTION
DOCUMENTS
JULY 24, 2015
REVISED 3/15/16

PROJECT INFORMATION:

ARLINGTON ZONING R1 - SINGLE FAMILY:

REQUIRED:

MAX 35% LOT COVERAGE

FRONT YARD SETBACK: 25'-0"
REAR YARD SETBACK: 20'-0"
SIDE YARD SETBACK: 10'-0"

MAX HEIGHT: 2 1/2 STORIES & 3'

MIN OPEN SPACE (LANDSCAPE): 10% OF GFA
MIN OPEN SPACE (USABLE): 30% OF GFA

DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING BASEMENT PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING ROOF PLAN
- A5 EXISTING ELEVATIONS
- A6 EXISTING ELEVATIONS
- A7 NEW BASEMENT PLAN
- A8 NEW FIRST FLOOR PLAN
- A9 NEW SECOND FLOOR PLAN
- A10 NEW ROOF PLAN
- A11 NEW ELEVATIONS
- A12 NEW ELEVATIONS
- A13 WALL SECTIONS
- A14 STRUCTURAL NOTES
- A15 FOUNDATION & 1ST FLOOR FRAMING
- A16 SECOND FLOOR FRAMING PLAN
- A17 ATTIC FRAMING PLAN
- A18 ROOF FRAMING PLAN

Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:
5/25/15 SCHEMATIC DESIGN
7/10/15 DESIGN DEVELOPMENT
7/24/15 CONSTRUCTION DOCS
3/15/16 REVISIONS

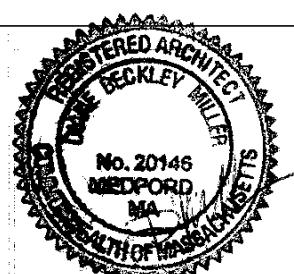
LIGHTING LEGEND

- RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
- CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
- CEILING MOUNTED DOME LIGHT - AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- ◆ CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
- S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKE TO BE HARD-WIRED PER CODE
- S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
- ▲ DATA CONNECTION
- △ TELEPHONE / DATA CONNECTION

ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

SYMBOL LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- 1 A10 C INTERIOR ELEVATION
- 2 A12 C SECTION
- 5 B DOOR TAG
- B WINDOW TAG



CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

COVER SHEET

Sheet
Number:

A1



1 PLAN
SCALE: 1/8" = 1'

10 of 48

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5/25/15 SCHEMATIC DESIGN

7/10/15 DESIGN DEVELOPMENT

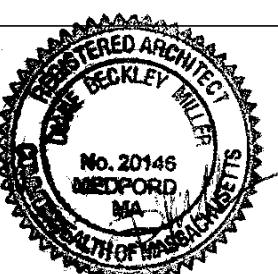
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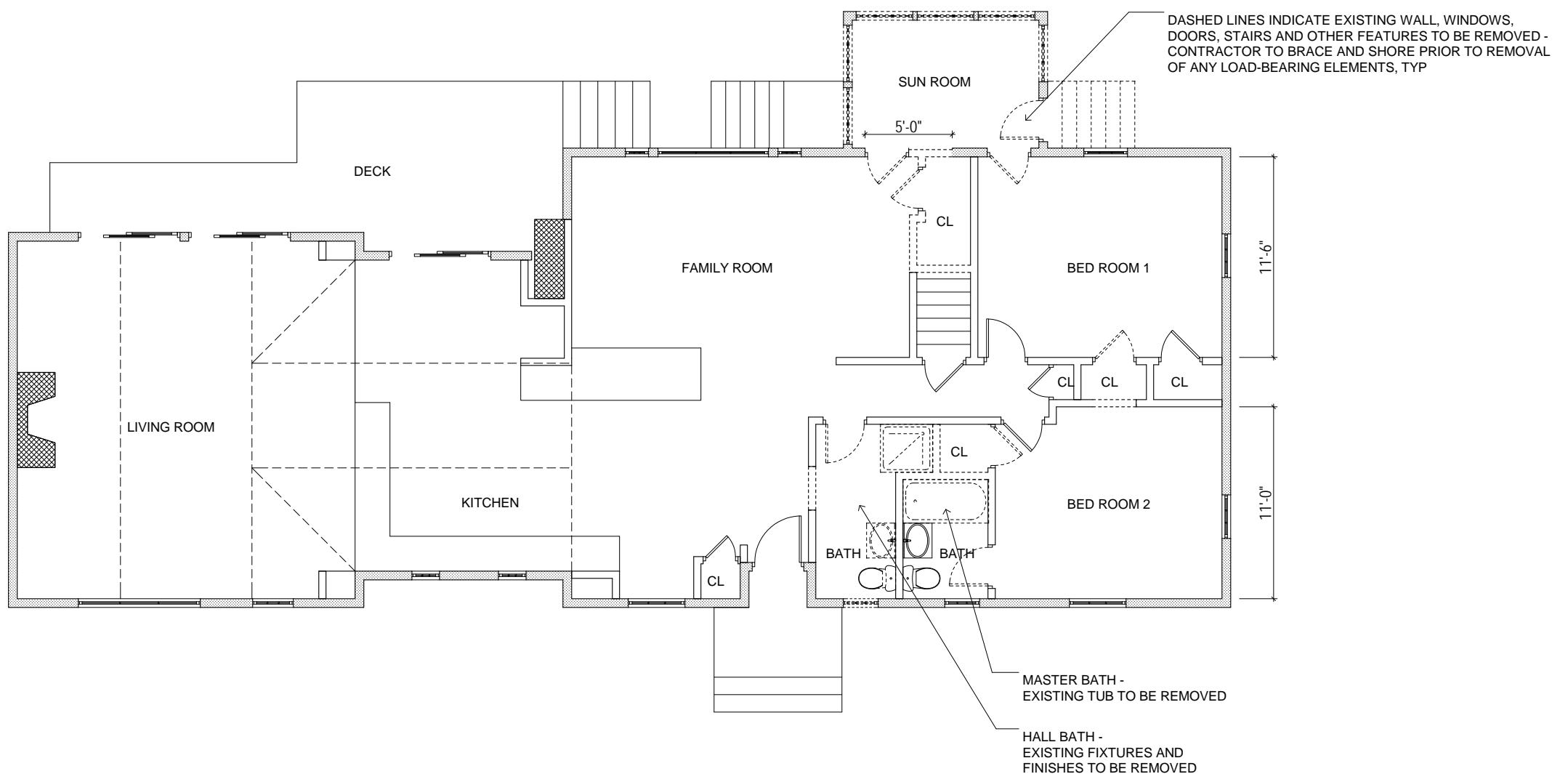
CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

EXISTING
BASEMENT

Sheet
Number:

A2





1 PLAN
SCALE: 1/8" = 1'

11 of 48

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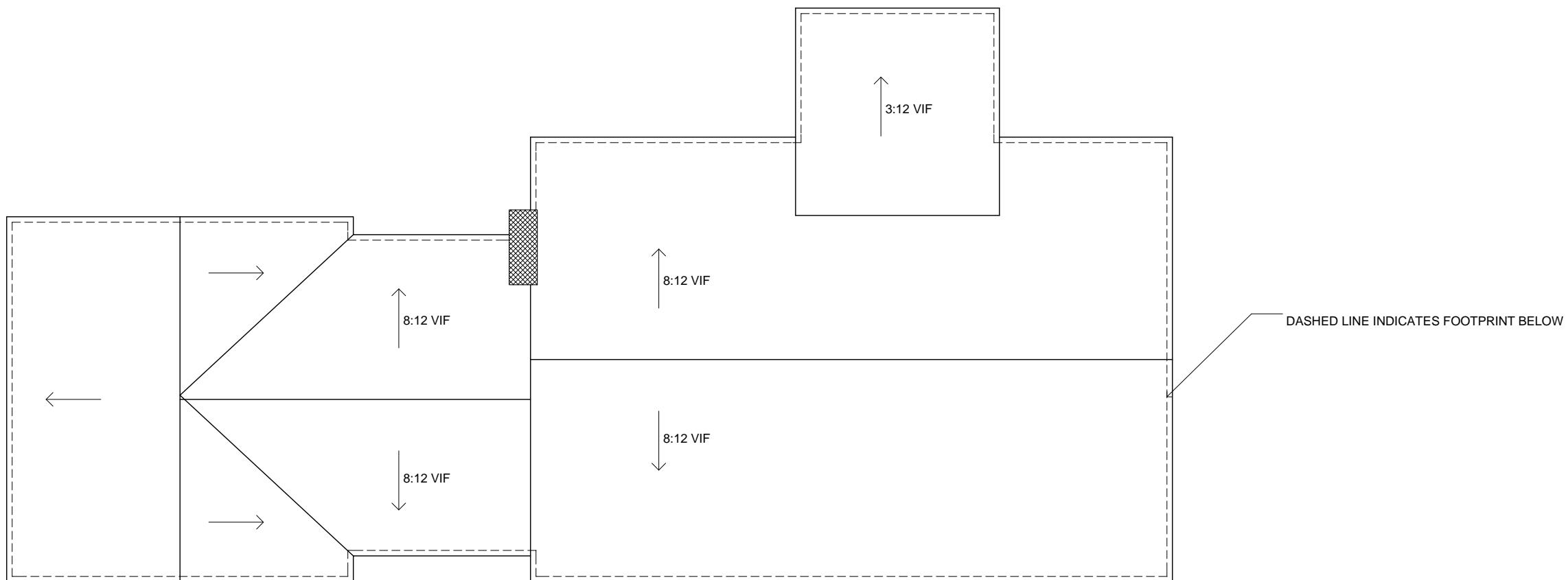
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CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

EXISTING FIRST FLOOR

Sheet
Number:

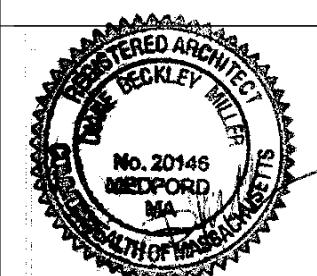
A3



Architect:
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EXISTING
ROOF PLAN

Sheet
Number:

A4



1 FRONT ELEVATION
SCALE: 1/8" = 1'

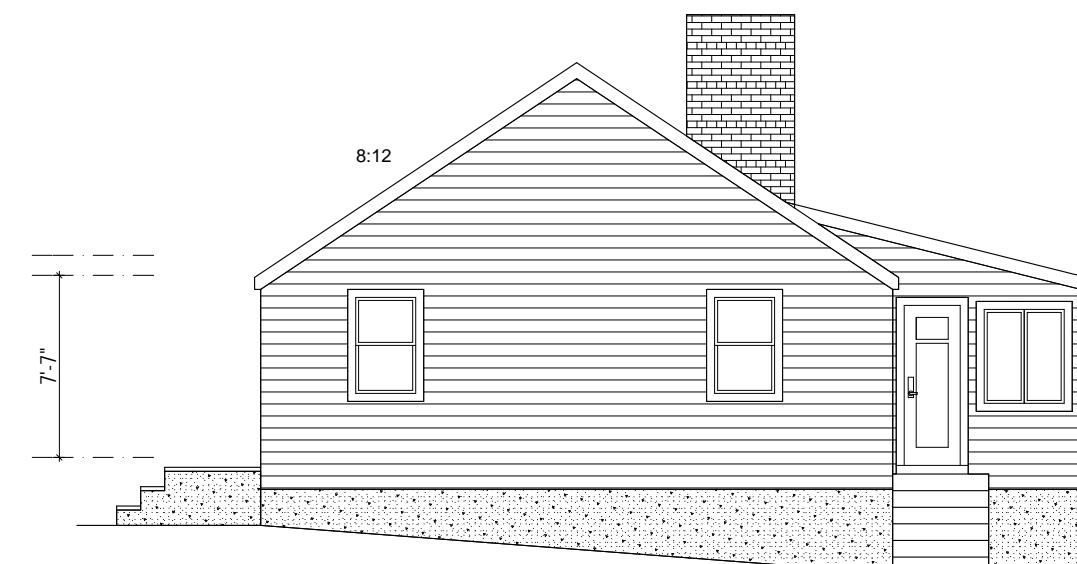
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7/24/15 CONSTRUCTION DOCS



2 SIDE ELEVATION
SCALE: 1/8" = 1'

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ARLINGTON MA 02474

EXISTING
ELEVATIONS

Sheet
Number:

A5



1 REAR ELEVATION
SCALE: 1/8" = 1'



2 SIDE ELEVATION
SCALE: 1/8" = 1'

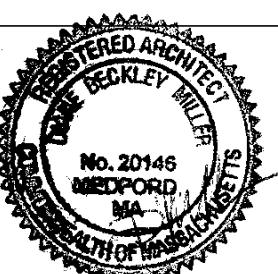
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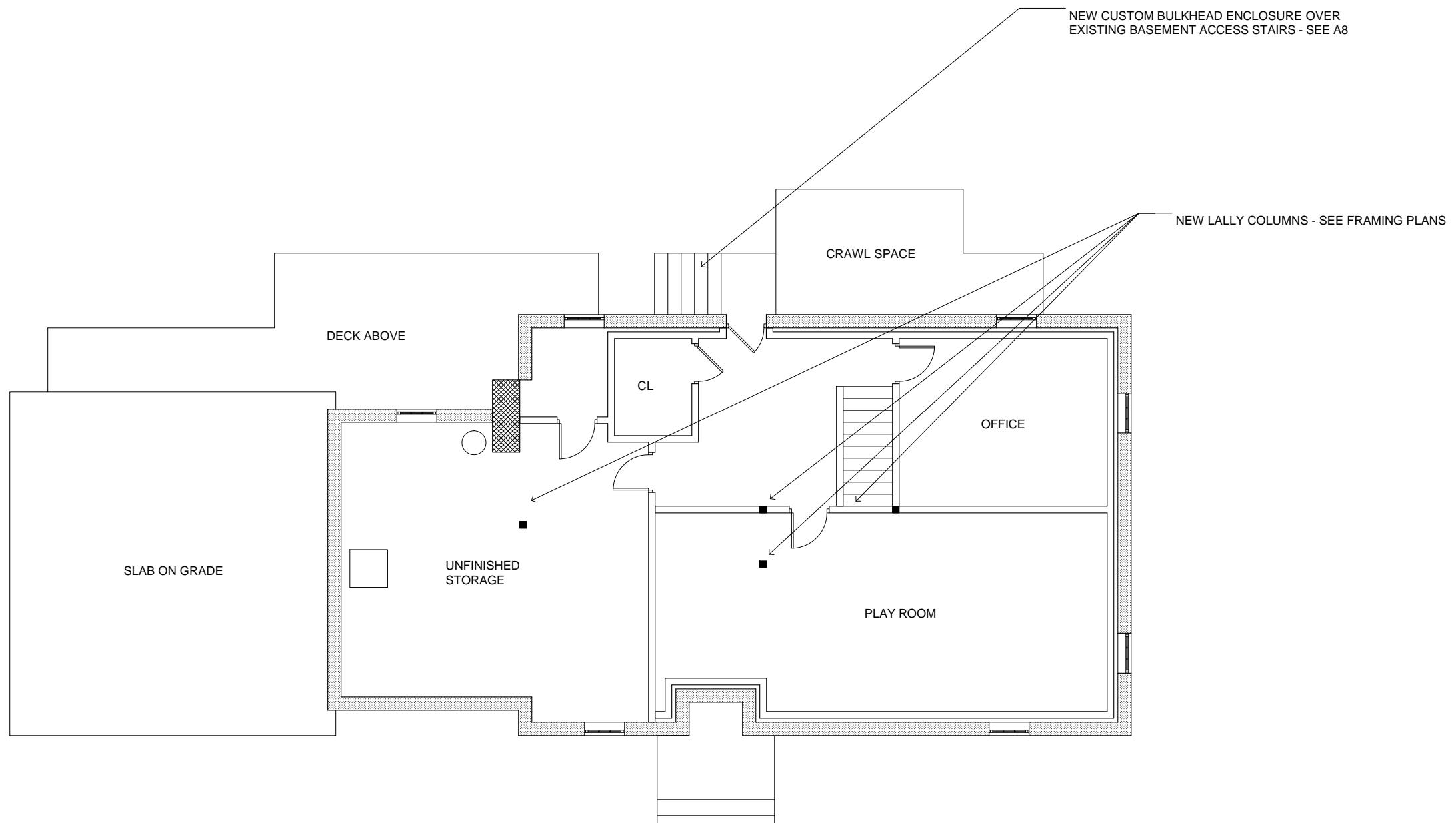


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EXISTING ELEVATIONS

Sheet
Number:

A6



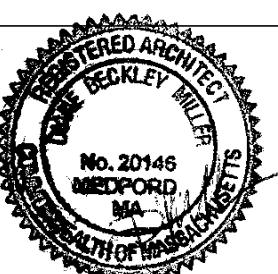
1 PLAN
SCALE: 1/8" = 1'

15 of 48

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NEW
BASEMENT

Sheet
Number:

A7

NEW STRUCTURAL POST - SEE FRAMING PLANS,
WITH DECORATIVE TRIM AND 3'-6" X 12'D WOOD HELVING,
PTD. WHITE, WITH OPENING ON FAMILY ROOM SIDE

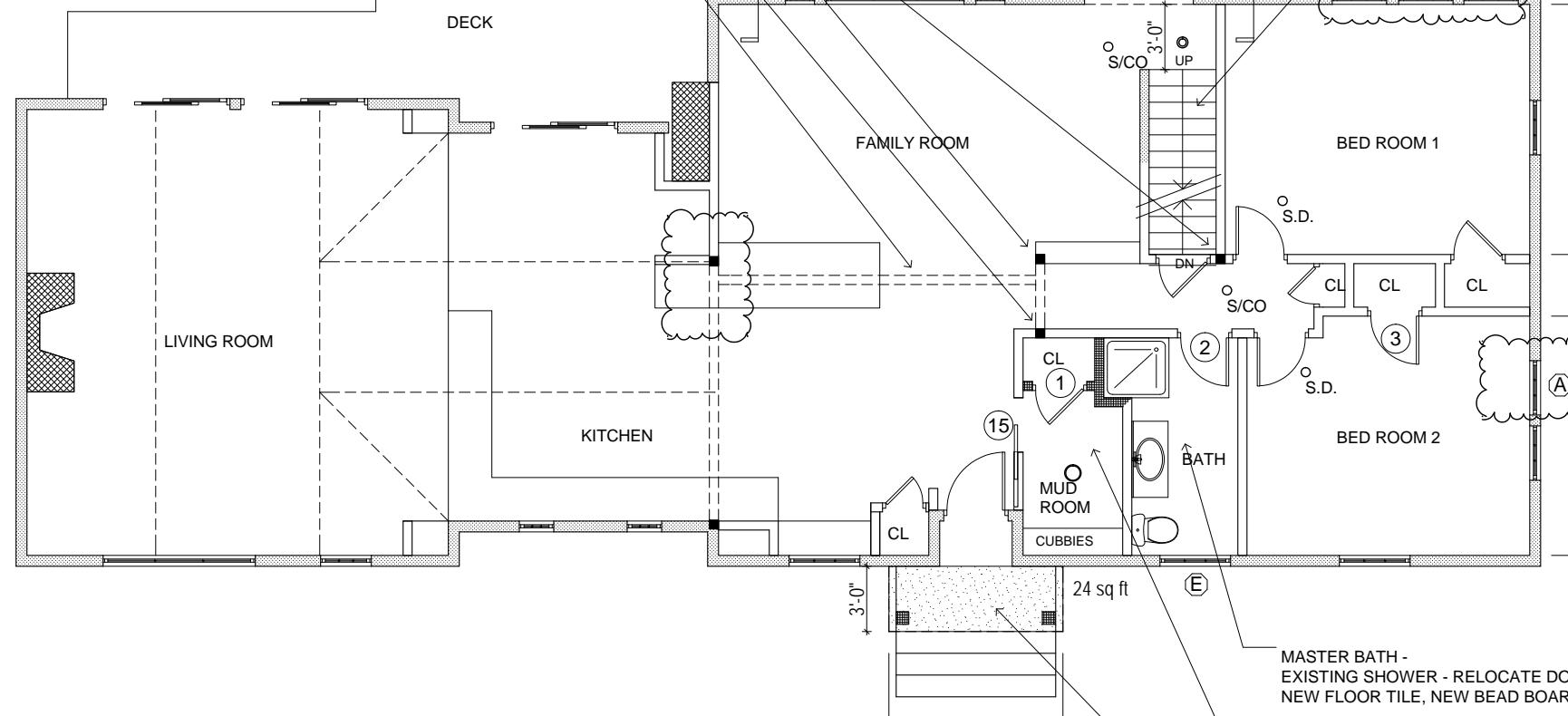
NEW STRUCTURAL POST IN EXISTING WALL -
SEE FRAMING PLANS

DASHED LINES INDICATE BEAM ABOVE -
SEE FRAMING PLANS

NEW CUSTOM BULKHEAD ENCLOSURE OVER
EXISTING BASEMENT ACCESS STAIRS

SUN ROOM RENOVATION:
NEW PT SLEEPERS, R30 ICYNENE INSULATION,
3/4" T&G PLYWOOD SUBFLOOR, HW FLOOR TME,
FINISH FLOOR TO ALIGN W/ EXISTING; NEW WALL
HEIGHT SUCH THAT SUN ROOM CEILING IS 3" BELOW
MAIN HOUSE CEILING, NEW WINDOWS,
NEW CEILING, NEW HEATING / COOLING SYSTEM,
VERIFY OR PROVIDE ICYNENE INSULATION IN WALLS
AND ROOF TO MEET CODE (R-20 WALL, R-38 ROOF)

NEW 3' WIDE CARPETED STAIR -
13 RISERS AT 7.7" (VIF) AND 12 TREADS AT 10" (INCLUDING 1" NOSE),
BANISTER AND BALUSTRADES TO BE SELECTED BY OWNER,
CONTINUOUS HANDRAIL PER CODE

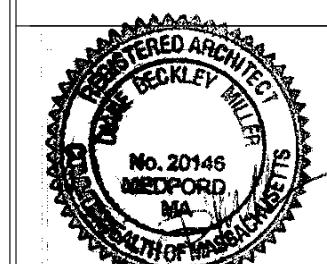


1 PLAN
SCALE: 1/8" = 1'

16 of 48

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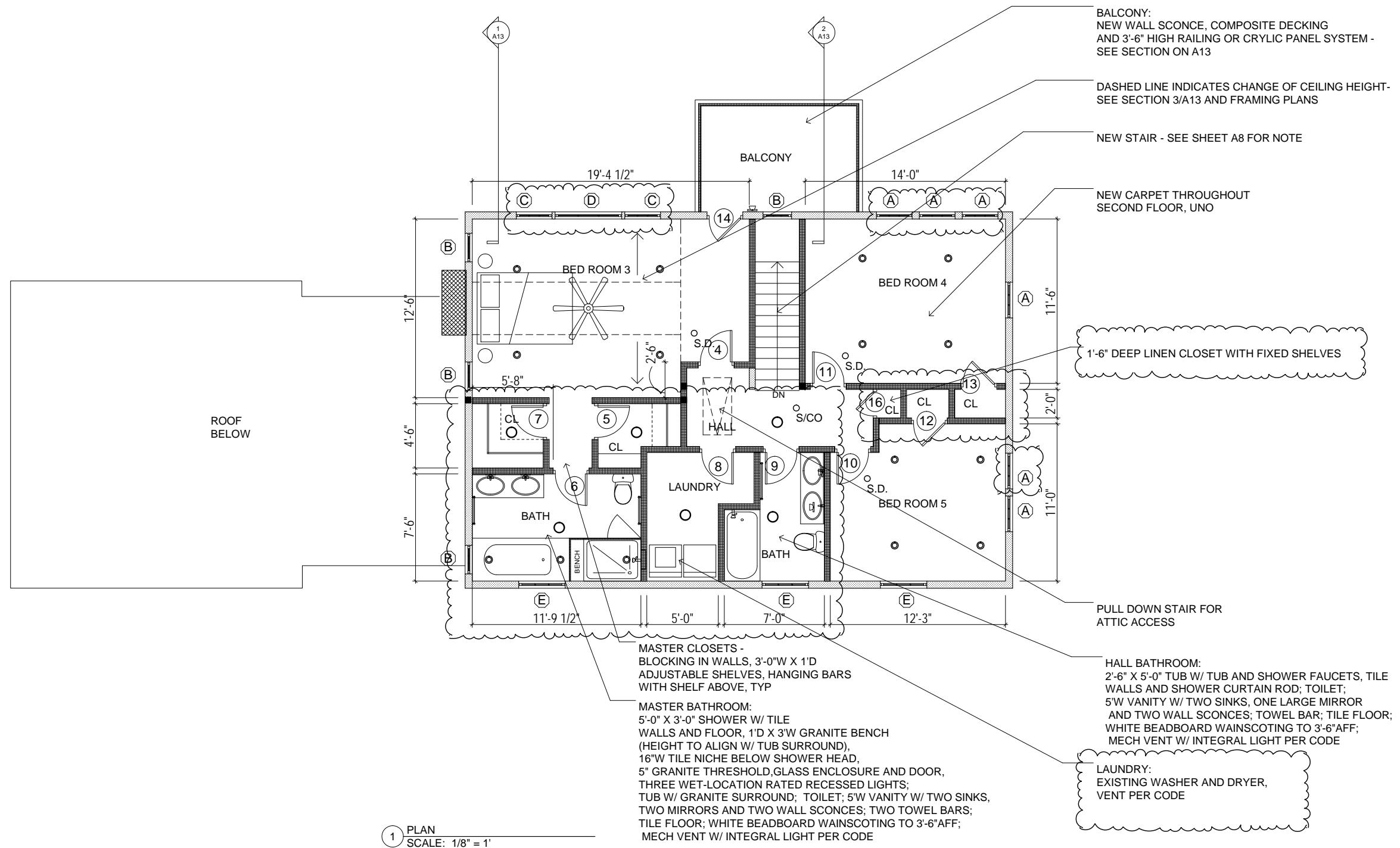


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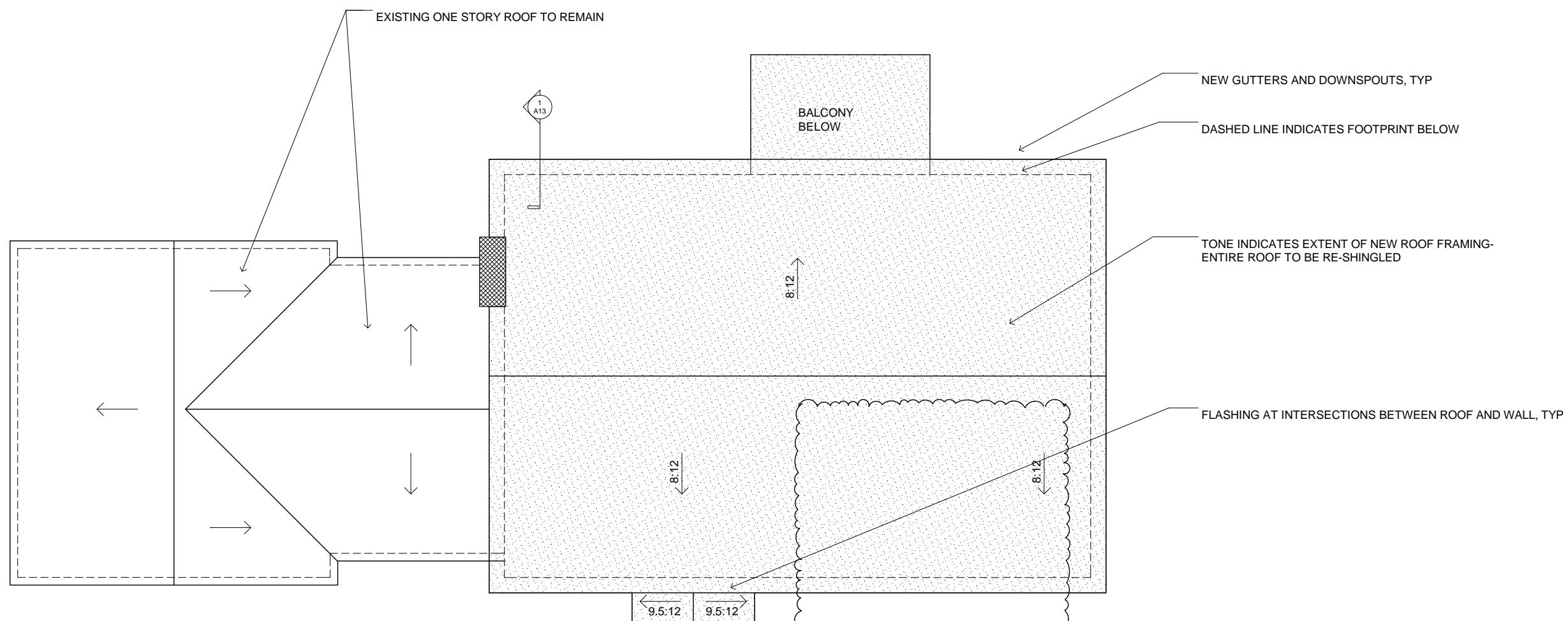
NEW
FIRST FLOOR

Sheet
Number:

A8



A9



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NEW ROOF
PLAN

Sheet
Number:

A10

1 PLAN
SCALE: 1/8" = 1'



1 FRONT ELEVATION
SCALE: 1/8" = 1'

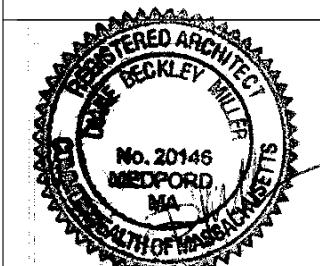


2 SIDE ELEVATION
SCALE: 1/8" = 1'

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NEW ELEVATIONS

Sheet
Number:

A11

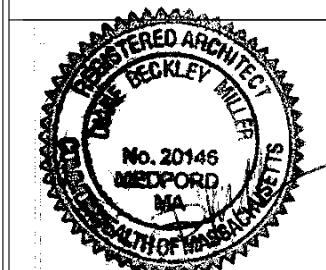


1 REAR ELEVATION
SCALE: 1/8" = 1'

Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:

5/25/15 SCHEMATIC DESIGN
7/10/15 DESIGN DEVELOPMENT
7/24/15 CONSTRUCTION DOCS
3/15/16 REVISIONS

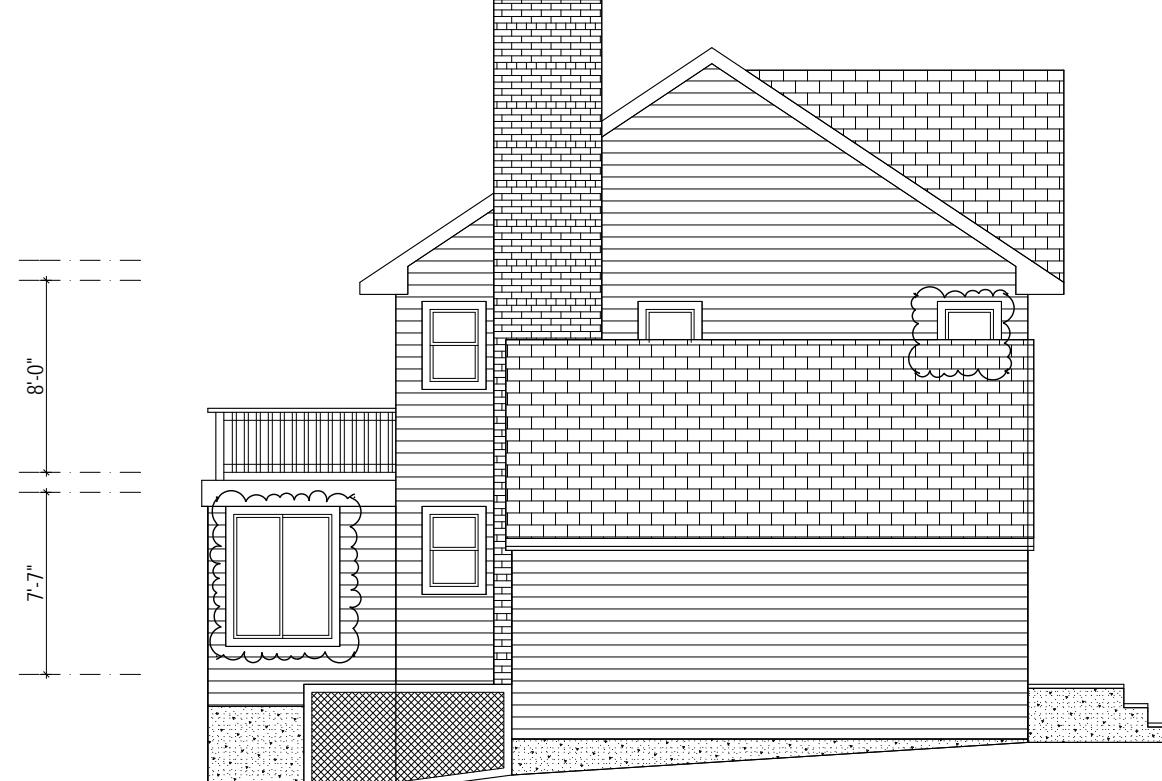


CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

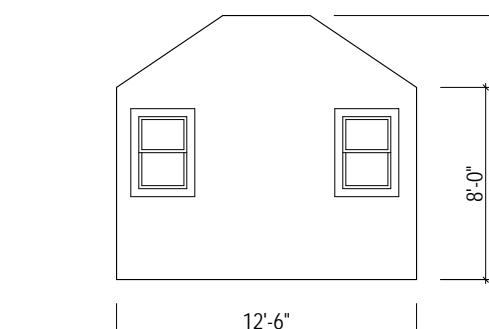
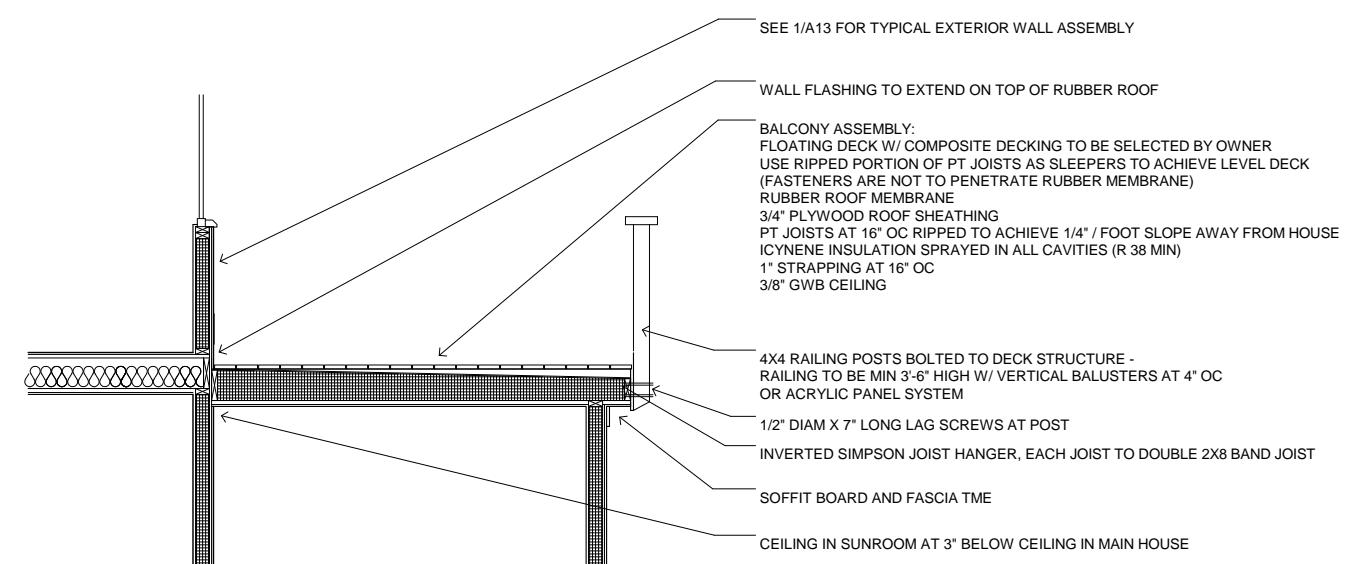
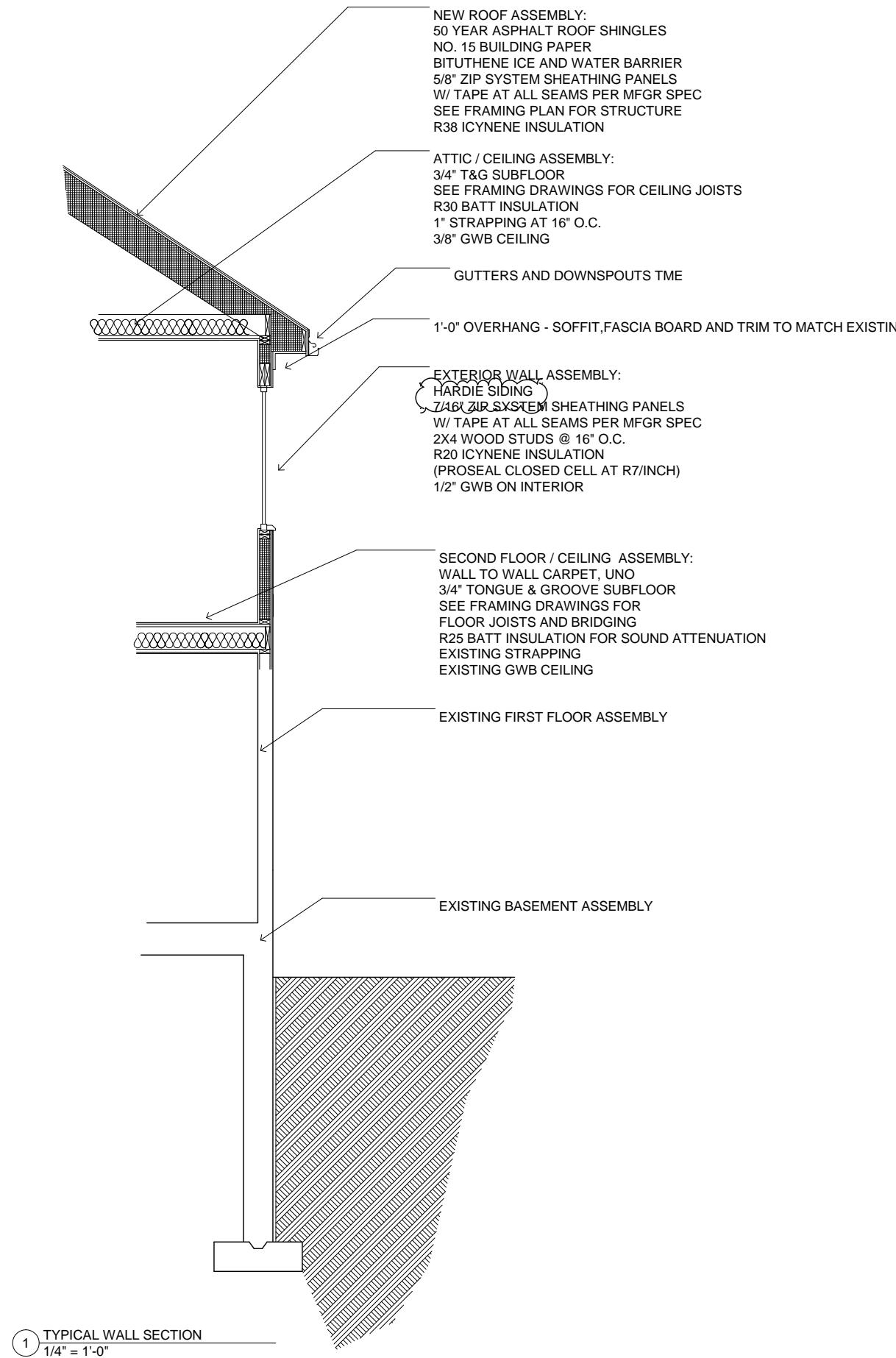
NEW ELEVATIONS

Sheet
Number:

A12

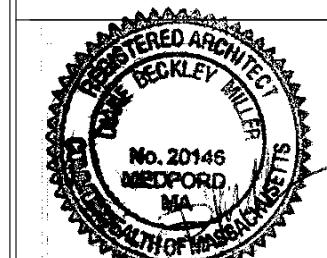


2 SIDE ELEVATION
SCALE: 1/8" = 1'



Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

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CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

WALL SECTIONS

Sheet
Number:

A13

GENERAL CONDITIONS

1. G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
2. DESIGN IS DERIVED FROM ASSUMED FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON OUR DOCUMENTS AND WHAT IS FOUND IN THE FIELD MAY CHANGE THE STRUCTURAL DESIGN, AND MUST IMMEDIATELY BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DOCUMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ARCHITECT IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
5. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

1. EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
2. EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
3. SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
4. BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPAKTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D.
5. BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
6. PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
7. PROVIDE METAL OR PVC SLEEVES IN THE FOUNDATION WALLS FOR SEWER, GAS, ELECTRIC, AND WATER LINES, AS REQUIRED.

CONCRETE

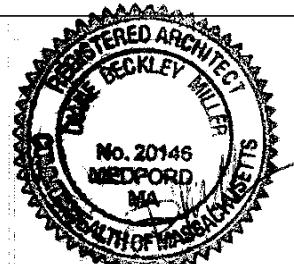
1. ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS:
FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
3. SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
4. REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60, FIELD BENT - ASTM A615, GRADE 40, WELDED WIRE FABRIC - ASTM A185.
5. NON-SHRINK GROUT SHALL BE "EMBECO 153" BY MASTER BUILDERS, "SONOGROUT" BY SONNEBORN BUILDING PRODUCTS, "FIVE STAR GROUT" BY U.S. GROUT CORPORATION, OR EQUAL AS APPROVED BY THE OWNER.
6. THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN TO THE OWNER FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE FIRST PLACEMENT.
7. INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROVIDE QUALITY CONTROL, MATERIALS, AND WORKMANSHIP FULLY INSURING THAT THIS WORK WILL CONFORM TO THE CONTRACT REQUIREMENTS.

ROUGH CARPENTRY

1. ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - AITC 100.
2. WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM $F_b = 875$ PSI (SINGLE USE) AND $F_b = 1000$ PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
3. WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
4. LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM $F_b = 3080$ PSI, $E = 2,000,000$ PSI, AND $F_v = 285$ PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
5. WOOD "I" BEAMS SHALL BE "BCI" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
6. PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 5/8" THICK WHEN SUPPORTS ARE SPACED AT 16" CENTERS. FOR 24" CENTERS, SHEATHING SHALL BE 5/8" THICK, AND SHALL BE TONGUE AND GROOVE OR ALIGNED WITH METAL H CLIPS BETWEEN RAFTERS. WALL SHEATHING SHALL BE 1/2" THICK.
7. ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED. BEAM ENDS IN CONCRETE BEAM POCKETS SHALL BE WRAPPED IN A SELF-ADHERING RUBBER MEMBRANE.
8. JOIST AND BEAM HANGERS SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS.
9. UNLESS DETAILED OR SPECIFIED OTHERWISE, PROVIDE AT LEAST TWO JACK STUDS BENEATH ENDS OF 2X12, LVL, AND PARALLAM HEADERS AND BEAMS. WHERE POSTS ARE CALLED OUT AS MULTIPLE 2X, SUCH AS 2-2X6, 3-2X6, 4-2X6, ETC., ONE 2X SHALL BE POSITIONED AS A KING STUD AND THE BALANCE SHALL BE JACK STUDS.
10. FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
11. GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
12. MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
13. PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND IT'S BEARING POINT.
14. UNLESS ANOTHER CONNECTOR IS CALLED OUT, PROVIDE ONE SIMPSON A34 FRAMING ANCHOR AT EACH Rafter/Ridge BEAM INTERSECTION, AND TWO WHEN RAFTERS ARE DOUBLED OR TRIPLED (ONE EACH SIDE).
15. CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUTS AND BORE HOLES IN FRAMING LUMBER. IN GIRDERS, BEAMS, OR JOISTS, CUTS AND BORE HOLES SHALL NOT BE DEEPER THAN 1/5 THE MEMBER DEPTH NOR MORE THAN 2" IN DIAMETER., AND SHALL NOT BE LOCATED NEARER TO THE END OF THE SPAN THAN THREE TIMES THE MEMBER DEPTH NOR WITHIN THE CENTER THIRD OF THE SPAN UNLESS REINFORCED TO MEET STRESS CALCULATIONS.
16. AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT BLOCKING TO MATCH UPPER POST SIZE.
17. SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
18. ALL RAFTERS TO BE CONNECTED TO HIP AND VALLEY MEMBERS WITH A MINIMUM OF 6-16d EQSP (UNLESS NOTED OTHERWISE ON PLAN).
19. ALL RAFTERS TO LVL RIDGE CONNECTIONS TO BE MADE WITH A MINIMUM OF 6-16d TOENAILS EQSP AND A SINGLE A34 SIMPSON ANGLE WHERE INDICATED ON PLAN.
20. ROOF SHEATHING TO EXTEND FULLY UNDER OVER FRAMED AREAS.
21. POST IDENTIFICATION AT HEADERS AS FOLLOWS:
POST DN (AT END OF SPAN) - UNLESS NOTED OTHERWISE, PROVIDE SINGLE JACK STUD & SINGLE KING STUD, IF THREE OR MORE STUDS ARE CALLED OUT, ONE OF THEM IS A KING STUD AND THE BALANCE ARE JACK STUDS.
22. POST UP & DN - SOLID VERTICAL BLOCKING THRU FLOOR REQUIRED
23. HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE, 2-2X8 WITH 3-2X4 POST DOWN EACH SIDE.
24. ALL CONNECTING ELEMENTS, JOIST HANGERS, CAP PLATES, ETC BY SIMPSON.

Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:
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7/24/15 CONSTRUCTION DOCS

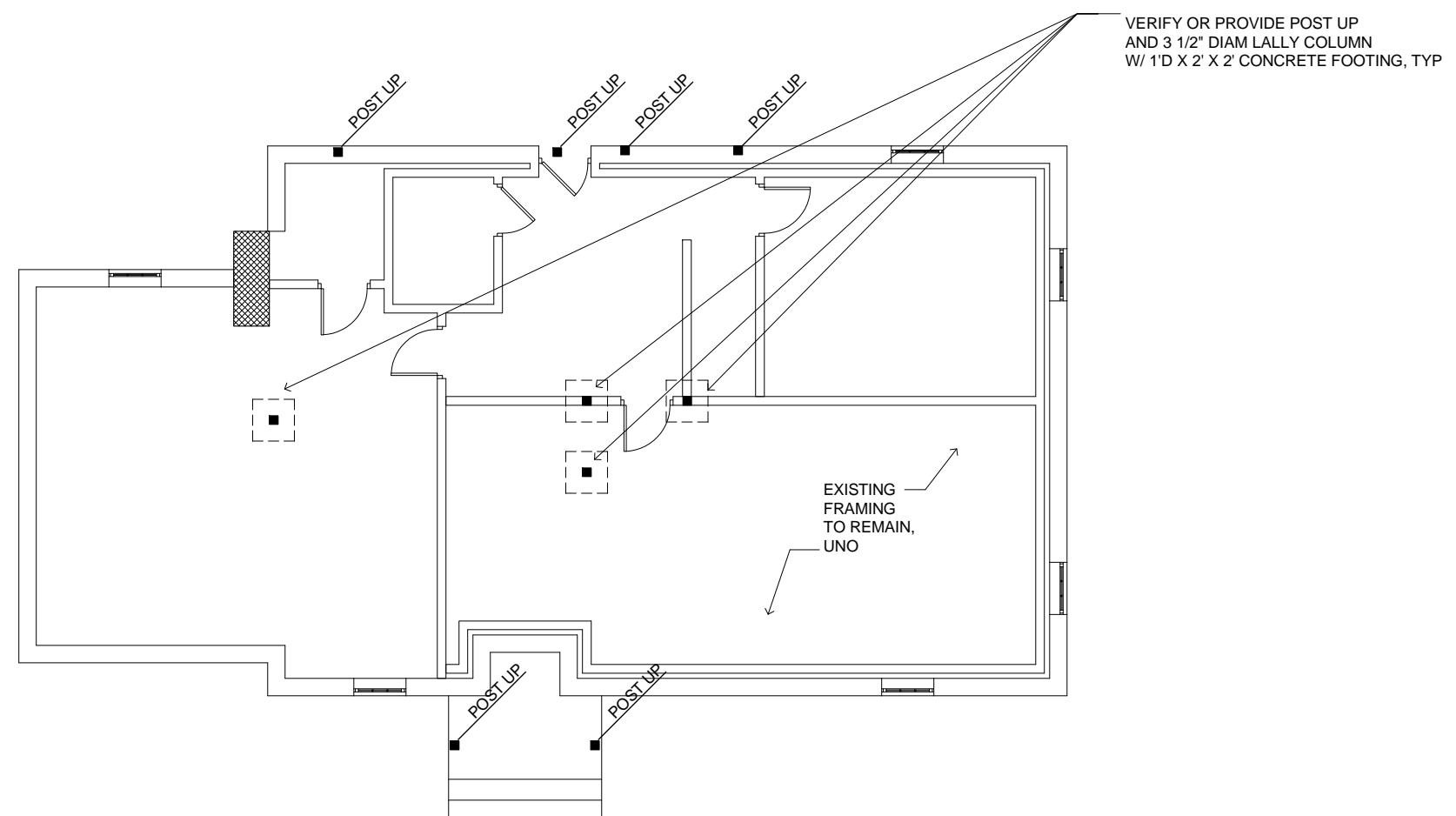


CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

STRUCTURAL
NOTES

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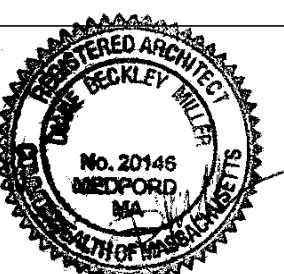
A14



Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:

5/25/15 SCHEMATIC DESIGN
7/10/15 DESIGN DEVELOPMENT
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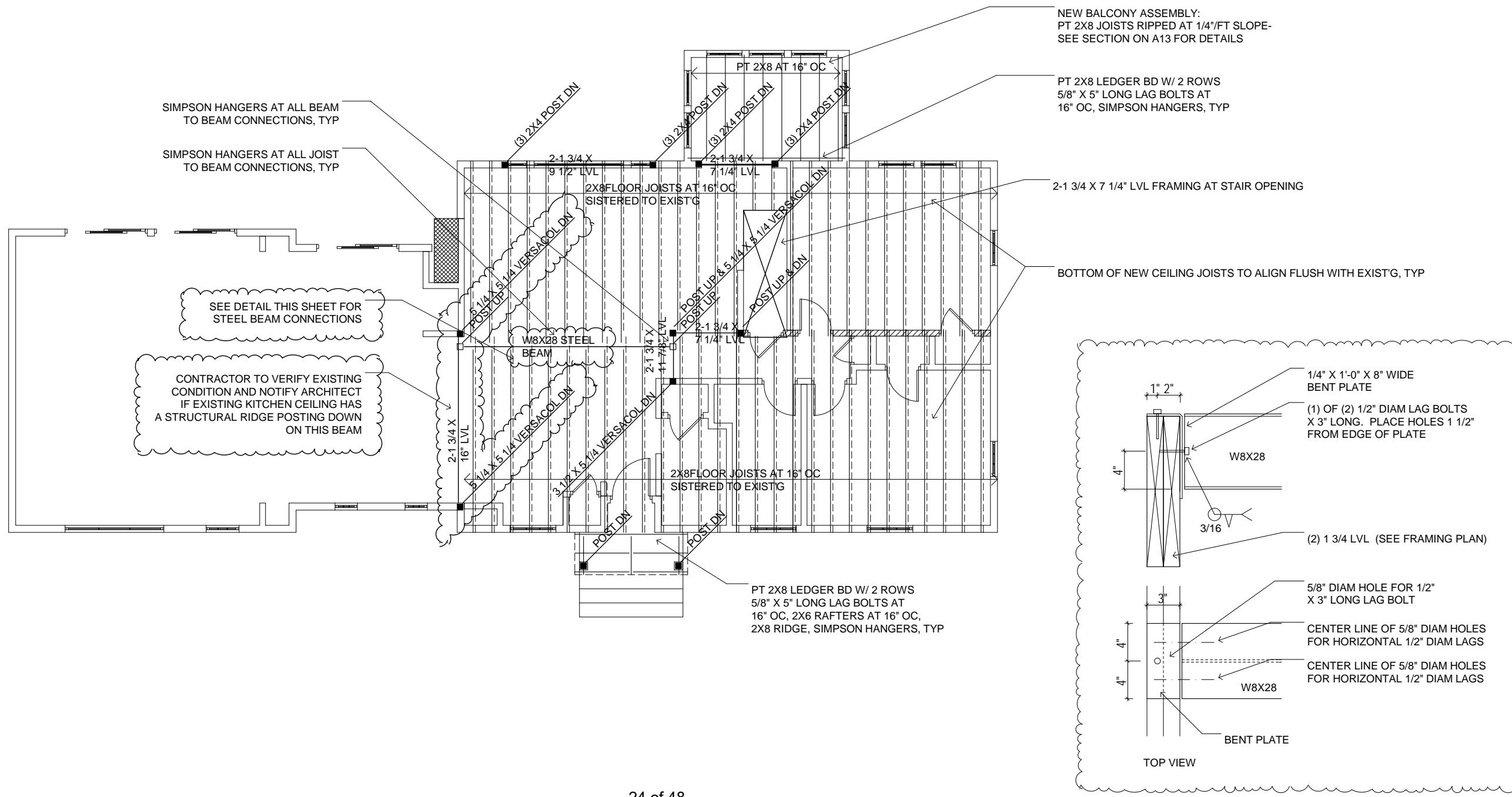


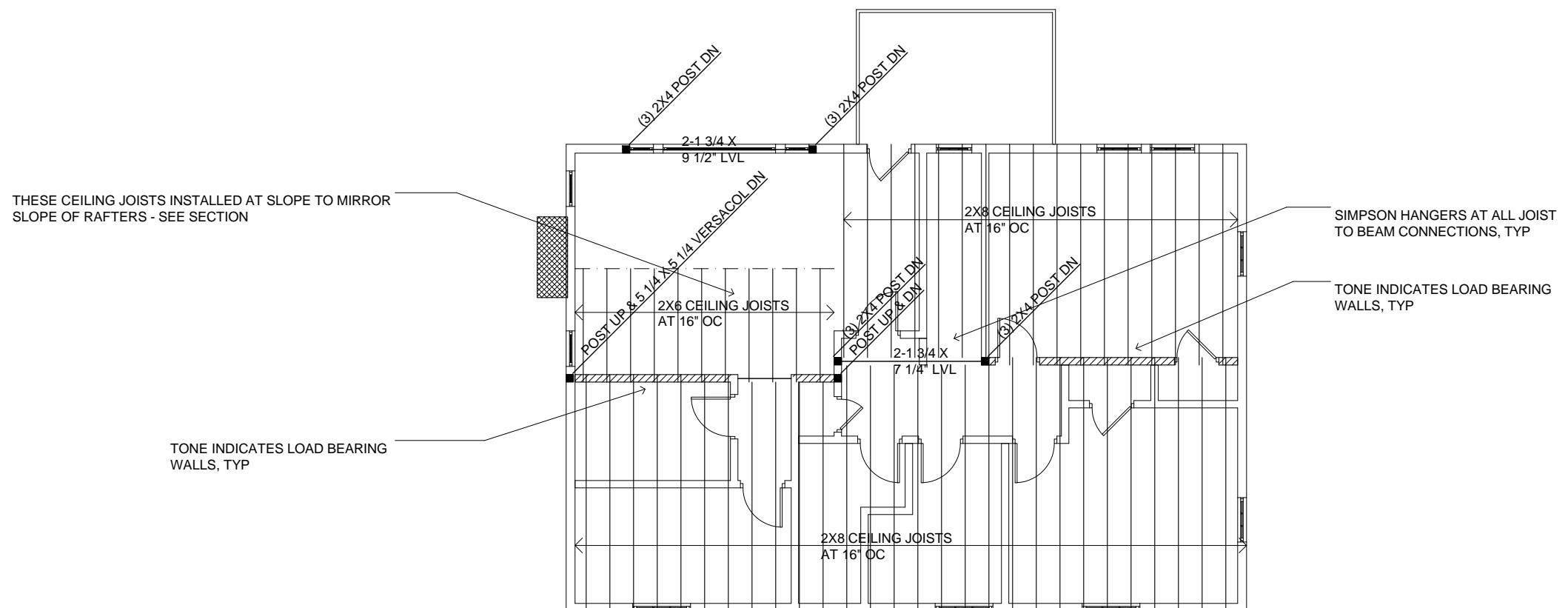
CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

FOUNDATION & 1ST
FLOOR FRAMING

Sheet
Number:

A15

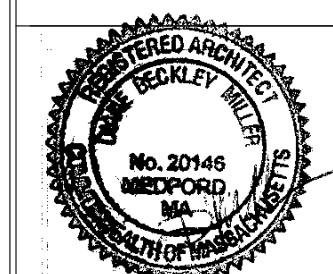




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52 Statler Road
Belmont MA 02478
617-993-3157

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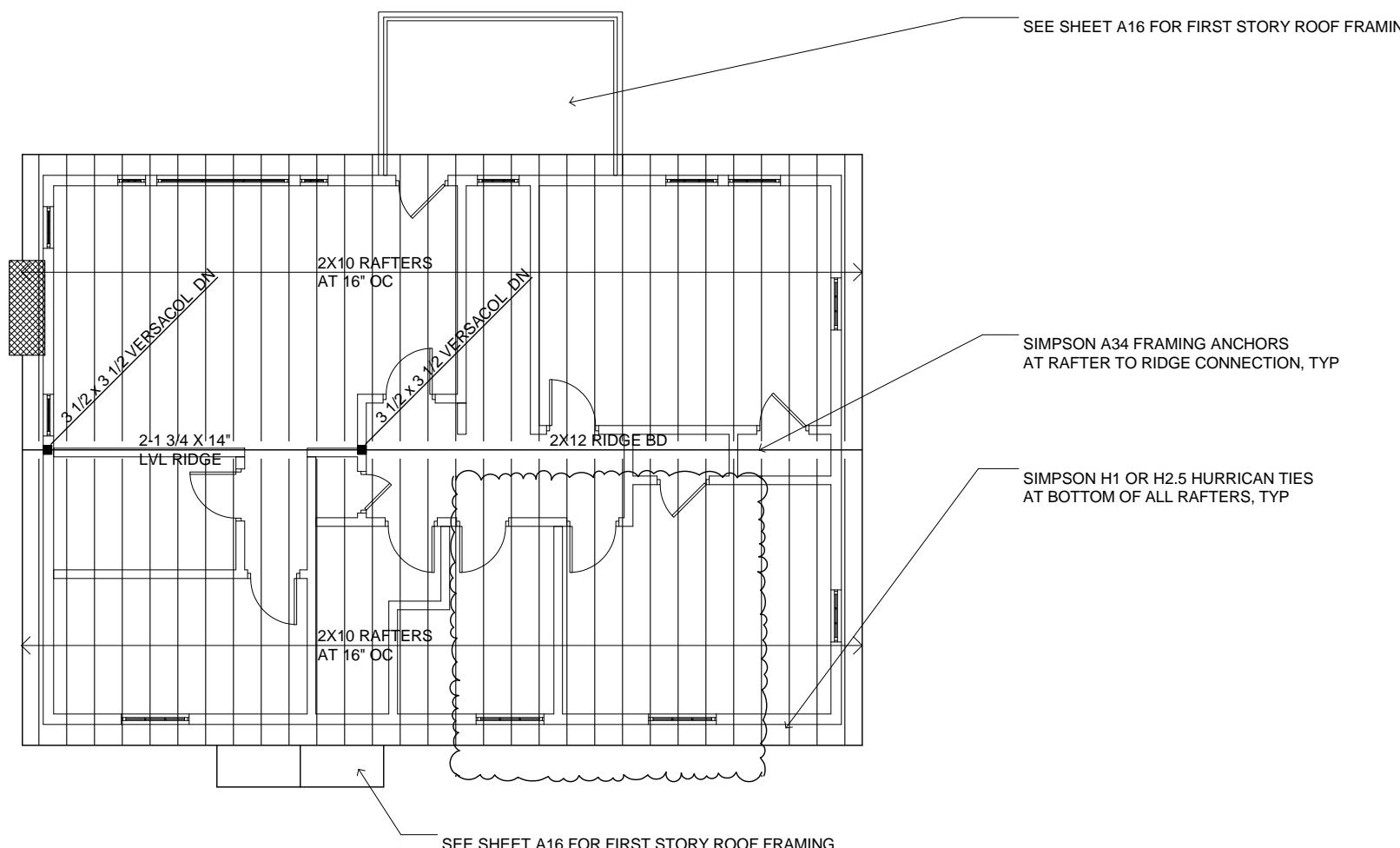


CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

ATTIC
FRAMING PLAN

Sheet
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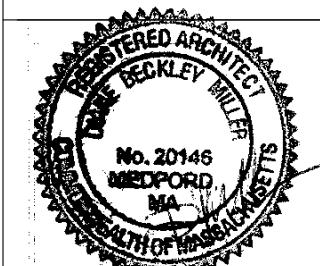
A17



Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:

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3/15/16 REVISIONS



CHHABRA RESIDENCE
26 SPY POND PARKWAY
ARLINGTON MA 02474

ROOF
FRAMING PLAN

Sheet
Number:

A18



Town of Arlington, Massachusetts

Hurd Field with Arlington Reservoir Bridge Extension Amendment

Summary:

This public hearing will consider a Notice of Intent for renovations to Hurd Field located at 0 Massachusetts Avenue and 0 Lowell Street (off Drake Road). Work is proposed to be conducted within the Riverfront Area to Mill Brook, Bordering Land Subject to Flooding (FEMA Zones AE and X, Floodway), the 100-foot Buffer Zone to Bordering Vegetated Wetlands and the Adjacent Upland Resource Areas. Renovation includes regrading and reorienting the athletic fields, upgrading field lighting, and constructing a pedestrian loop path, irrigation system, and other new amenities.

Note: The Hurd Field NOI now includes work on the bridge over Mill Brook to Arlington Reservoir, which was formerly proposed as an amendment to the Order of Conditions for the Reservoir improvements.

ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	Hurd_Field NOI_Response_Package.pdf	Hurd Field NOI Response Package

March 10, 2022
File: 210801935

Attention: David Morgan
Arlington Conservation Commission
730 Massachusetts Avenue
Arlington, Massachusetts 02476

Dear Mr. Morgan,

Reference: Response to NOI Comments
Town of Arlington Hurd Field Renovation MassDEP File No 091-0337

On behalf of the Applicant (The Town of Arlington Recreation Department), Stantec has reviewed the comments from the Conservation Commission that arose during the Notice of Intent hearing for the above-referenced project on February 17, 2022 and offers responses below. For ease of reading, we have restated the comments followed by our responses below, shown in *italics*. Additional information is provided as an attachment to this memorandum, including the revised plans.

1. Where kidney bean shape meadow area is shown on field side of loop path, make more narrow and extend so it is along the path more towards the east instead.

The meadow restoration mix area has been extended along the loop path. Please see attached rendered site plan.

2. The Commission believes this is a Redevelopment and more mitigation needs to be addressed for impacts in AURA. A site walk with the applicant and the Conservation Commission should be scheduled to review mitigation opportunities.

In addition to the meadow restoration seed mix proposed, more trees were added increasing the total to 26 trees and 85 low shrub and herbaceous plantings have been added in the northeastern and northwestern areas of the site. Planting in a Regulatory Floodway is not recommended by Stantec, but was directed by the Arlington Conservation Commission, with authorization by NFIP, pending FEMA approval. We request the email response from NFIP on 02/23/2022, and follow up responses from FEMA, if any, be included in the Findings section of the Order of Conditions.



March 10, 2022
Page 2 of 4

Reference: Response to NOI Comments
Town of Arlington Hurd Field Renovation MassDEP File No 091-0337

The low shrubs and herbaceous plantings would include:

CLETHRA ALNIFOLIA	SUMMERSWEET
COMPTONIA PEGREGRINA	SWEET FERN
FOTHERGILLA GARENII	DWARF FOTHERGILLA
OSMUNDASTRUM CINNAMOMEA	CINNAMON FERN
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED
ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS
MONARDA FISTULOSA	WILD BERGAMOT
PANICUM VIRGATUM	SWITCHGRASS
RUDBECKIA HIRTA	BLACK-EYED SUSAN
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM
SOLIDAGO SPECIOSA	SHOWY GOLDENROD
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED
SYMPHYOTRICUM NOVAE-ANGLIAE	NEW ENGLAND ASTER

A site walk was conducted on March 3, 2022 with members from Recreation Commission and with members of the Conservation Commission to review the site and mitigation opportunities. The result of items reviewed are reflected in the attached rendered site plan. This includes the following with response in bold:

- a. Addressing the drainage issue at the area between the parking lot and Mill Brook by installing coir logs, backfill and planting/riprap. **This has been added, see attached rendered site plan.**



Reference: Response to NOI Comments
Town of Arlington Hurd Field Renovation MassDEP File No 091-0337

- b. Increase planting between Mill Brook and new path connecting to reservoir. **This has been added, see attached rendered site plan, pending FEMA approval in areas of Regulatory Floodway.**
- c. Addressing drainage issue at end of fence near bridge by installing coir logs, planting/rip rap. **This has been added, see attached rendered site plan.**
- d. Increase buffer in north part of site, between Mill Brook and the loop path by adding low plantings. **This has been added, see attached rendered site plan.**
- e. Detail in removing knotweed, dig down two feet, completely remove and proper disposal. **The installation of the porous asphalt will require excavation of this area. Contractor shall contact the Conservation Office to arrange for DPW disposal, prior to start of removal as indicated on the Towns website.**
- f. Add plantings in southeast corner of site to prevent cut through at fence. **This has been added, see attached rendered site plan.**
- g. Any other porous options for overlook that might work? **The plaza is now permeable paving. See attached rendered site plan.**
- h. Narrow meadow mix on field side of path to make it run along path further. **This has been added, see attached rendered site plan.**

3. Look into reducing pavement, if possible, like making loop path be 5' wide instead of 6'. Can plaza space or connection from the bike path to the Reservoir be reduced?

Loop path was reduced to 5' wide. Plaza space at the entrance is now proposed as permeable paving. The connection from bike path to the Reservoir, however, will remain the same width to safely allow enough passing room for two way pedestrian/bike traffic. Please see attached rendered site plan.

4. Confirm if the paths will be plowed in the winter.

It will not be plowed in the winter.

Regards,

STANTEC CONSULTING SERVICES INC.



March 10, 2022
Page 4 of 4

Reference: Response to NOI Comments
Town of Arlington Hurd Field Renovation MassDEP File No 091-0337

Josh Atkinson, RLA
Landscape Architect
Phone: (617) 654-6003
Josh.atkinson@stantec.com

Attachment:

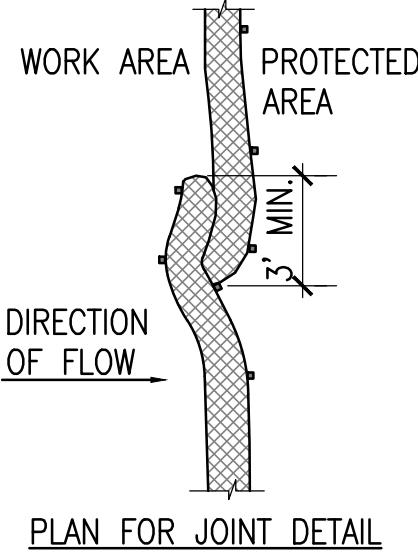
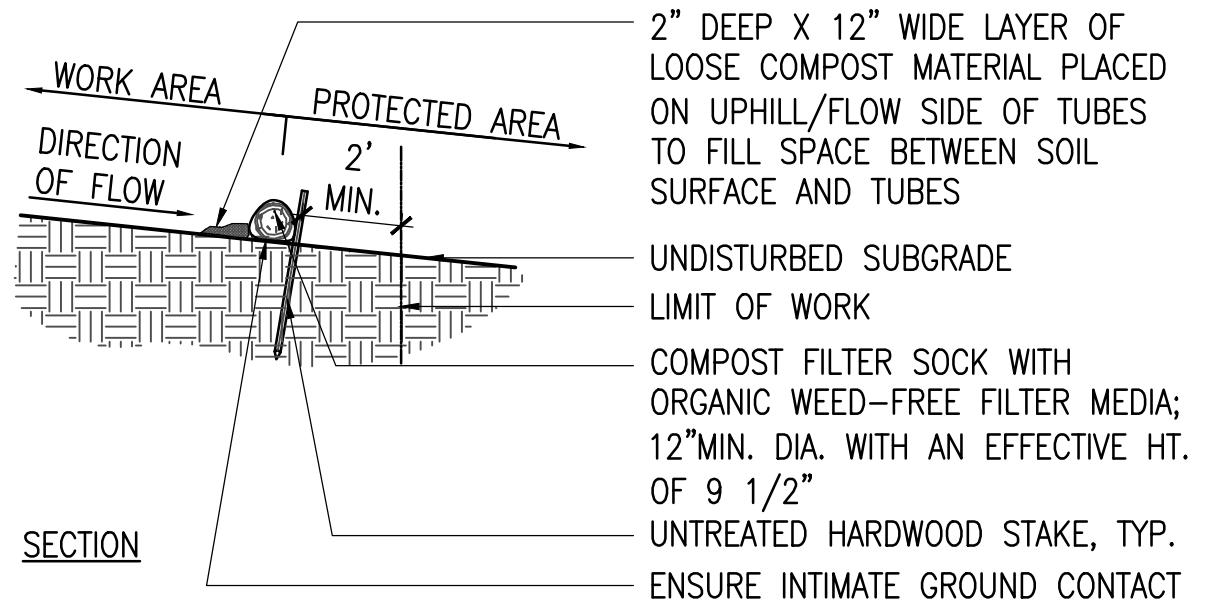
- 1) Revised Rendered Site Plan dated March 10, 2022

CC: Joseph Connelly, Recreation Department

Planting in a Regulatory Floodway is not recommended by Stantec but was directed by the Arlington Conservation Commission, with authorization by NFIP, pending FEMA approval.

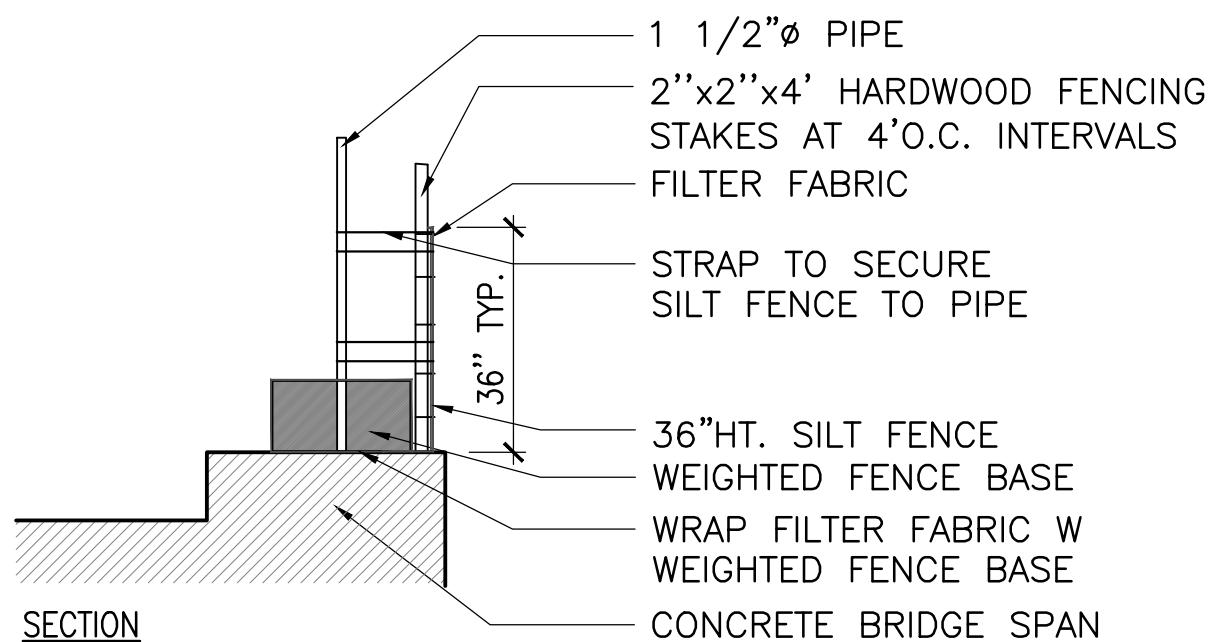


ARLINGTON, MA - HURD FIELD RENOVATIONS
MARCH 10, 2022



1 COMPOST FILTER SOCK

SCALE: N.T.S.



2 SILT FENCE

SCALE: N.T.S.

SKL-9R

CONNECTION TO HURD FIELD
FORMER SHEET L-2.3
SCAI E AS NOTED

ARLINGTON, MA

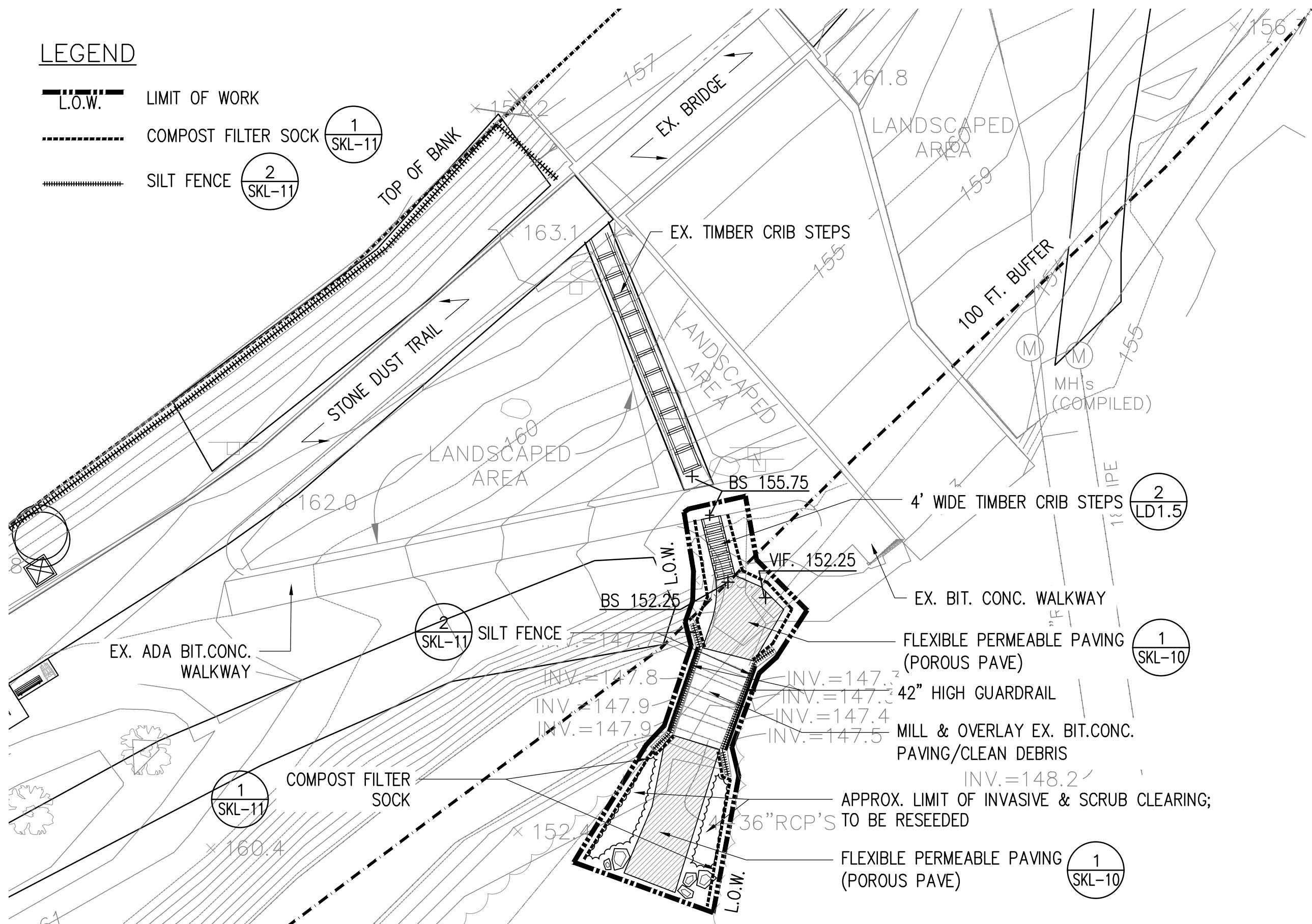
ARLINGTON RESERVOIR

LEGEND

L.O.W. LIMIT OF WORK

----- COMPOST FILTER SOCK (1
SKL-11)

..... SILT FENCE 2
(SKL-11)



1

CONNECTION TO HURD FIELD

SCALE: 1"=20'-0"



Town of Arlington, Massachusetts

Colonial Village Drive

Summary:

This public hearing will consider a Notice of Intent to reconstruct all on-site parking and access driveways and curbing, as well as installation of stormwater management systems and conduct site grading at Colonial Village Drive. All work is proposed to be conducted within the 100-foot Buffer Zone to the Inland Bank of a perennial stream that flows from the Arlington Reservoir, the 200-foot Riverfront Area associated with Mill Brook, and Bordering Land Subject to Flooding (FEMA Zone AE).

ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	Colonial_Village_NOI_Response_Package.pdf	Colonial Village Drive NOI Response Packet



Professional Civil Engineering • Professional Land Surveying • Land Planning

150 Longwater Drive, Suite 101
Norwell, MA 02061
Tel: 781-792-3900
Fax: 781-792-0333
www.mckeng.com

March 9, 2022

David Morgan, Conservation Agent
Arlington Conservation Commission
730 Massachusetts Avenue
Arlington, MA 02476

**RE: Response to Comments from Wayne Chouinard, Town Engineer
Site Plan Review for Colonial Village Drive**

On behalf of the applicant, Colonial Village Condominium Trust, McKenzie Engineering Group, Inc. (MEG) is pleased to submit these responses to the comments received from Wayne Chouinard, dated February 9, 2022. The following are the comments with MEG responses in ***bold italics***. If no response is required, it will be noted with ***NRR***.

Summary of Comments Provided by Wayne Chouinard:

1. Elevation data for the bottom of Mill Brook located within the concrete lined channel should be included on the site plan.

See Sheet C-3 for Bottom of Brook elevation data.

2. Existing catch basin data should include dimensions, elevations and presence of hooded outlets or sumps in catch basins.

See Sheet EX-1 for rim and invert elevations for the three existing catch basins.

Hooded outlets were not encountered, and sump bottoms were full of sediment. These three catch basins will be cleared of debris as needed.

3. Proposed catch basin data should include pertinent dimensions and elevations for proposed drain manholes and catch basins including sump bottom.

See Sheet C-3 for proposed First Defense Unit rim, inverts, and sump elevations and See Sheet D-1 for additional First Defense Unit details. See Sheet C-3 for proposed drainage manhole rim and invert elevations and Sheet D-2 for additional drainage manhole details.

4. It is recommended that the applicant check or clarify the determination of the estimated seasonal high groundwater elevation (ESGHW). The specified elevation varies by approximately 1.5 feet, which would not be anticipated in a landform indicated as a glaciofluvial deposit as detailed on sheet 1 of the Soil Suitability Assessment Form.

The variance in groundwater elevations throughout the site is supported by redoximorphic features observed during soil testing conducted on September 8, 2021.

5. The offset between the proposed outlet invert elevations and assumed groundwater elevations of nearby test pits are 0.15 at CBN (FD-1), 0.55 at CBN (FD-2), -1.06 at CB (FD-3), -1.06 at CBN (FD-4). Redoximorphic features from Test Pit #3 & #4 may be suspect due to characteristics of disturbed soil or possibly groundwater conditions could be affected by the base flow from Mill Brook.

The groundwater elevations shown at test pits #3 & #4 were determined by redoximorphic features observed at 28" and 25" respectively. These features serve as the basis for groundwater levels.

6. Installation of a monitor well to document an observed groundwater at equilibrium for a brief period may be beneficial, should there be concern regarding the elevation of proposed outlets into Mill Brook.

Soil testing at the five test pit locations provided sufficient evidence of the groundwater elevations on-site. The outlets have been designed to replicate the existing 12" RCP outfall elevation and are the highest elevation possible while maintaining minimum ground coverage.

7. A confirmed and/or revised ground water (GW) elevation may provide an opportunity for subsurface flood storage.

The seasonal high groundwater elevations observed in the field do not support the use of subsurface infiltration systems in the project design. MassDEP Stormwater Regulations require a minimum 2-feet of separation between groundwater and bottom of system, leaving an insufficient amount of height for the system itself and the bituminous concrete pavement section above.

8. Designer should develop and provide hydraulic calculations for the drainage system for a 25-year Storm with specific goal of determining the hydraulic conditions at each outlet pipe and determining how the backwater effects of the elevation of flow in Mill Brook will affect discharges at the CBN outlets as well as the conveyance within the upstream drain lines.

The FEMA Flood Insurance Study for Mill Brook indicates a 25-year storm elevation of approximately 152 feet at the project location. At a 152-foot flood elevation, all outlet pipes are submerged and flood waters overtop the channel walls promoting a flooding condition in the majority of the parking area. In this storm event, there is no flow through the outlet pipes.

Summary and Supplementary Information

- Colonial Village has long encountered flooding from Mill Brook resulting in property damages. In order to reduce the effects of flooding it is recommended, though not required to consider the following:
 - The characteristics of storms encountered in recent years has changed dramatically from past historical experiences, including an increase in number, intensity and durations of storms which subsequently relate to new flood events. Providing subsurface flood storage as part of the site plan considerations would provide a long term and incremental step towards reducing flooding.

See response to Comment #7 regarding subsurface infiltration.

- The Town of Arlington has taken part in wide ranging discussions with neighboring municipalities, as well as State and Federal Officials pertaining to guiding and adapting regulations to reduce and mitigate the impacts of flooding attributed to climate changes. Long term recommendation and suggestions are defined in the Town Hazard Mitigation Plan and promote resiliency to combat municipal vulnerabilities. As such, flood mitigation should be recommended on all projects located in areas of increased flooding potential with the intention of slowly addressing flooding impacts through a series of incremental improvements overtime.

The project results in a net increase of flood storage throughout the parking area, improving on the site's existing flood storage capacity.

- Due to the increasing intensity of storms, and based on conversation with an MEMA Official, it has been suggested to the Town to recommend residents to "Build to Protect" properties. It is recommended that the Colonial Village Project consider suitable design improvements to prevent a barrier to flood waters as part of a coordinated and practical approach during the proposed driveway improvement project.

Per 310 CMR 10.57(4)(a) of the MassDEP Wetlands Protection Act, work within Bordering Land Subject to Flooding shall not restrict flows so as to cause an increase in flood stage or velocity.

- Mill Brook and the conveyance path through the Colonial Village property are the responsibility of Colonial Village. If work is going to be performed, it may be worthy of consideration to provide maintenance or repairs to the Brook Channel. Should the concrete channel walls fail, the resulting impacts of the brook flow could have a significantly detrimental affect on the work performed as part of the driveway/pavement replacement project.

The applicant is currently in the process of coordinating repair work to the Mill Brook channel.

- The Town of Arlington is required to perform a building inspection for all structures in Town to determine if there are sump pumps, floor drains and/or illicit connections to Town Infrastructure. Colonial Village structures have yet to be inspected. If during these inspections it is found that there are sump pumps etc, and/or illicit connections, Colonial Village will be required to remove the connections and provide alternative discharges. Coordinating these requirements in conjunction with the current project so as to not impact the project after the driveway/paving replacement project may prove to be a practical consideration.

The applicant is considering moving forward with these inspections and incorporating any potential alterations into the current project.

- The installation of subsurface flood storage could be provided without the need for a 2-ft offset with some minor design improvements if so desired.

The use of subsurface infiltration chambers is not feasible even with less than the required 2-feet of separation given the required burial depths for subsurface systems under pavement.

Please contact the undersigned if you require additional information or have any questions that may facilitate your review.

Very truly yours,

MCKENZIE ENGINEERING GROUP, INC.



Ryan Landers, E.I.T.
Project Engineer

cc: Colonial Village Condominium Trust
Wayne Chouinard, Town Engineer



LOCUS MAP
SCALE 1"=300'



ABBREVIATIONS	
FFE	FIRST FLOOR ELEVATION
BIT. CONC.	BITUMINOUS CONCRETE
PAVEMENT	PAVEMENT
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
BC	BITUMINOUS CONCRETE CURB
(AM)	AS MEASURED
RET. WALL	RETAINING WALL
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VGC	VERTICAL GUTTER CURB
MTW	EDGE OF TRAVEL WAY
MTL	METAL BERM
VCC	VERTICAL CONCRETE CURB
CMP	CORRUGATED METAL PIPE

LEGEND

SURVEY SYMBOLS

- REBAR
- ✓ ANGLE IRON
- CB/DH □ CONCRETE BOUND WITH DRILL HOLE
- SB □ STONE BOUND
- SB/DH □ STONE BOUND

UTILITY SYMBOLS

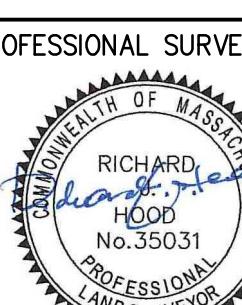
- CHIMNEY
- Electric Hand Hole
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT
- TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- CBN
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT
- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM

LINE DESIGNATORS

- W WATER MAIN
- HANDRAIL JERSEY BARRIER
- GUARD RAIL
- RAILROAD TRACKS
- OHW OVERHEAD WIRES
- G GAS LINE
- WS WATER SERVICE
- E UNDERGROUND ELECTRIC
- D STORM DRAIN LINE
- S SANITARY SEWER LINE
- SW DRAINAGE SWALE
- CLF CHAIN LINK FENCE

PARKING LOT RECONSTRUCTION COLONIAL VILLAGE DRIVE (APN 061.A-1-1 THROUGH 061.A-12-12)

ARLINGTON, MASSACHUSETTS

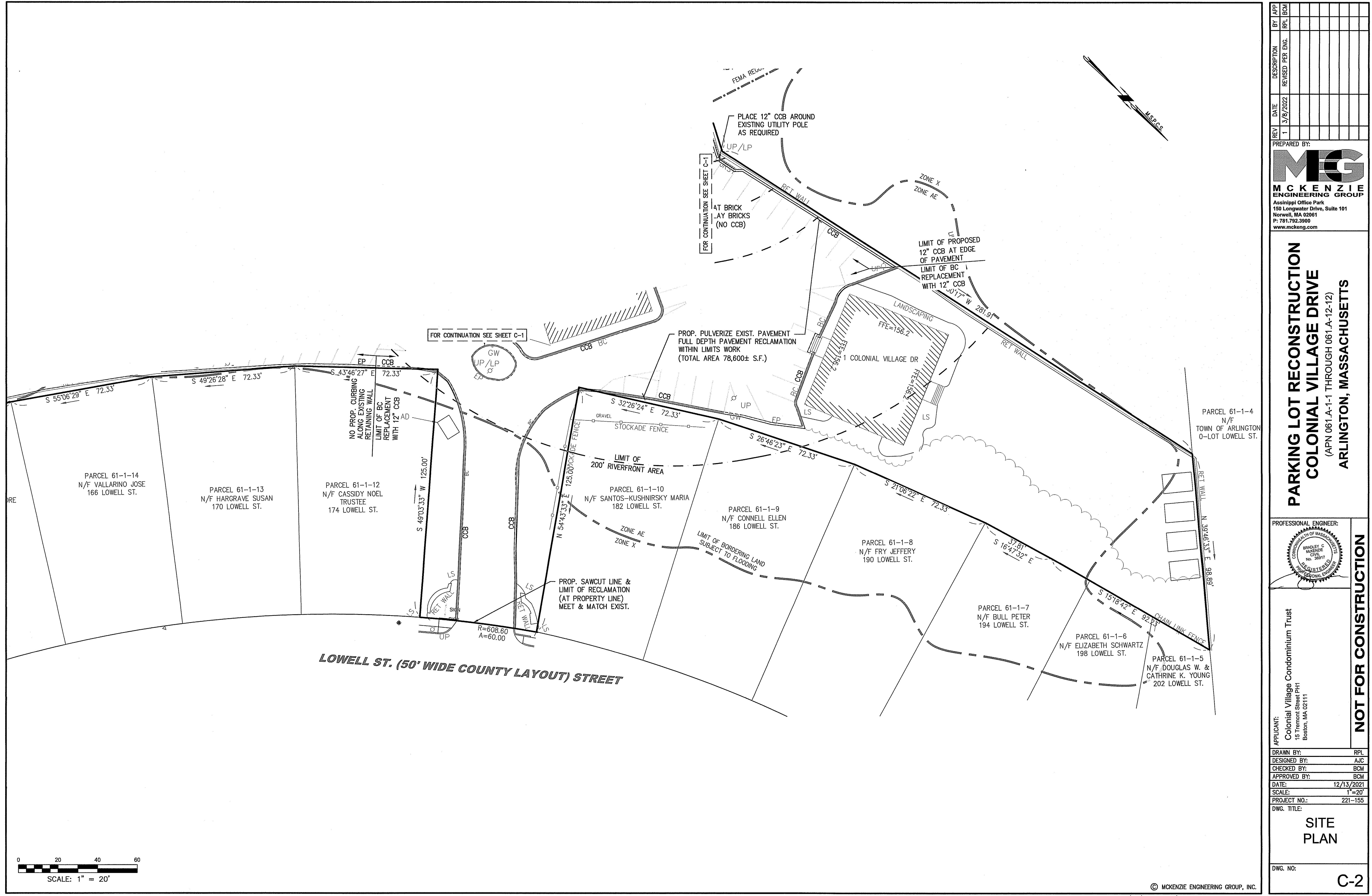


OWNERS/APPLICANT:
Colonial Village Condominium Trust
15 Tremont Street PH1
Boston, MA 02111

DRAWN BY: RPL
DESIGNED BY: AJC
CHECKED BY: RTLS
APPROVED BY: RJH
DATE: 12/13/2021
SCALE: 1"=30'
PROJECT NO.: 221-155
DWG. TITLE: EXISTING CONDITIONS PLAN
DWG. NO:

NOT FOR CONSTRUCTION

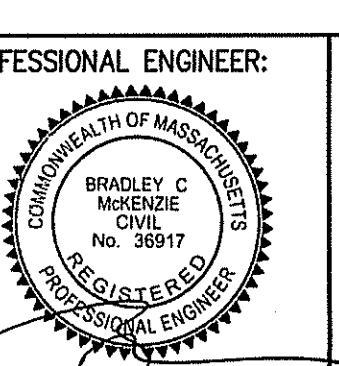
EX-1



**PARKING LOT RECONSTRUCTION
COLONIAL VILLAGE DRIVE**
(APN 061-A-1-1 THROUGH 061-A-12-12)
ARLINGTON, MASSACHUSETTS

NOT FOR CONSTRUCTION

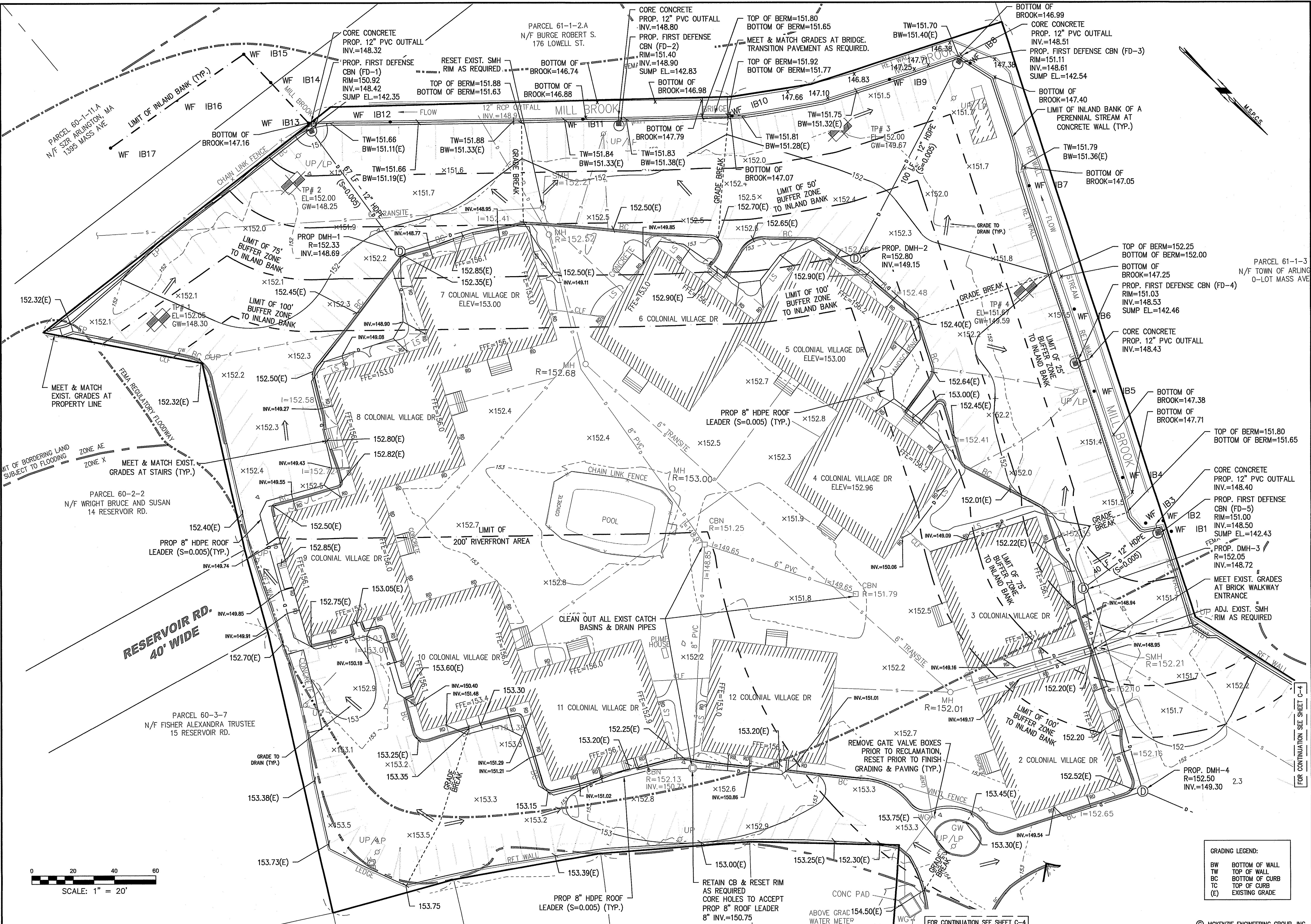
C-3



APPLICANT:
Colonial Village Condominium Trust
15 Tremont Street PH1
Boston, MA 02111

DRAWN BY: RPL
DESIGNED BY: AJC
CHECKED BY: BGM
APPROVED BY: BGM
DATE: 12/13/2021
SCALE: 1"=20'
PROJECT NO.: 221-155
DWG. TITLE: GRADING & DRAINAGE PLAN
DWG. NO: M-VEG 2021 PROJECTS\221-155 COLONIAL VILLAGE CONDO. TRUST - 1-12 COLONIAL VILLAGE DRIVE, ARLINGTON, MA\DWGSS\221-155 MAIN-2.DWG

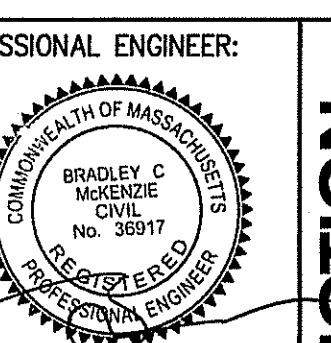
REV	DATE	DESCRIPTION	BY APP
1	3/8/2022	REVISED PER ENG.	RPL BGM
PREPARED BY: MCKENZIE ENGINEERING GROUP Assinippi Office Park 150 Longwater Drive, Suite 101 Norwell, MA 02061 P: 781.792.3900 www.mckeng.com			



REV.	DATE	DESCRIPTION	BY APP.
1	3/8/2022	REVISED PER ENG.	RPL BOM

PREPARED BY:
MEG
MCKENZIE
ENGINEERING GROUP
 Assinippi Office Park
 150 Leavittor Drive, Suite 101
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www.mckeng.com

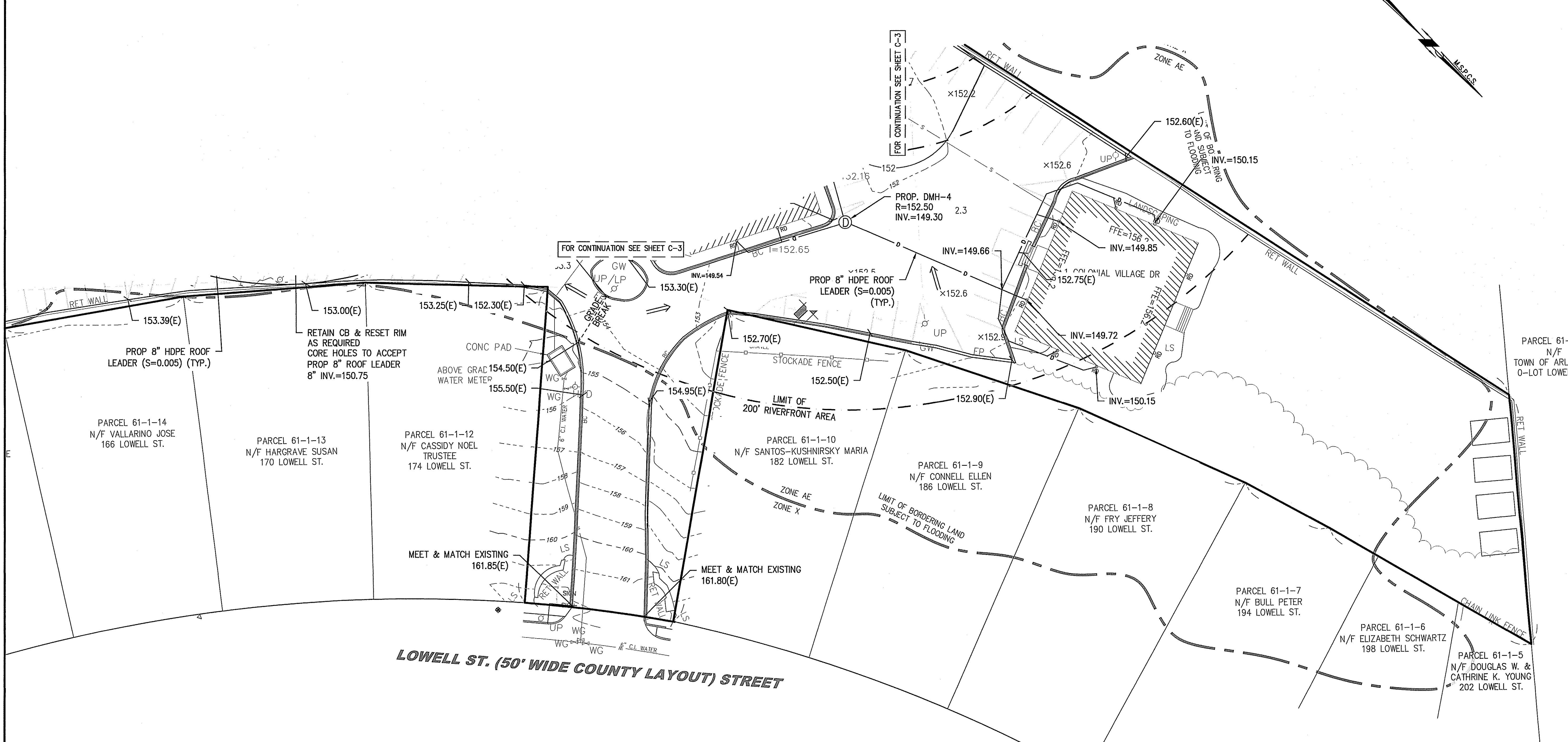
**PARKING LOT RECONSTRUCTION
COLONIAL VILLAGE DRIVE**
 (APN 061-A-1 THROUGH 061-A-12-12)
 ARLINGTON, MASSACHUSETTS



APPLICANT:
 Colonial Village Condominium Trust
 15 Tremont Street PH1
 Boston, MA 02111

DRAWN BY: RPL
 DESIGNED BY: AJC
 CHECKED BY: BGM
 APPROVED BY: BGM
 DATE: 12/13/2021
 SCALE: 1"-20'
 PROJECT NO.: 221-155
 DWG. TITLE:

**GRADING &
DRAINAGE
PLAN**
 DWG. NO: C-4



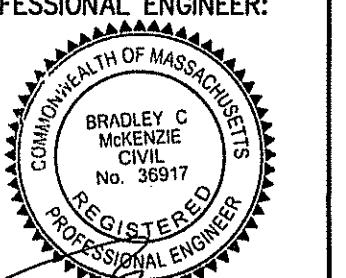
**PARKING LOT RECONSTRUCTION
COLONIAL VILLAGE DRIVE**
(AFN 061-A-1 THROUGH 061-A-12-12)
ARLINGTON, MASSACHUSETTS

NOT FOR CONSTRUCTION

ES-1

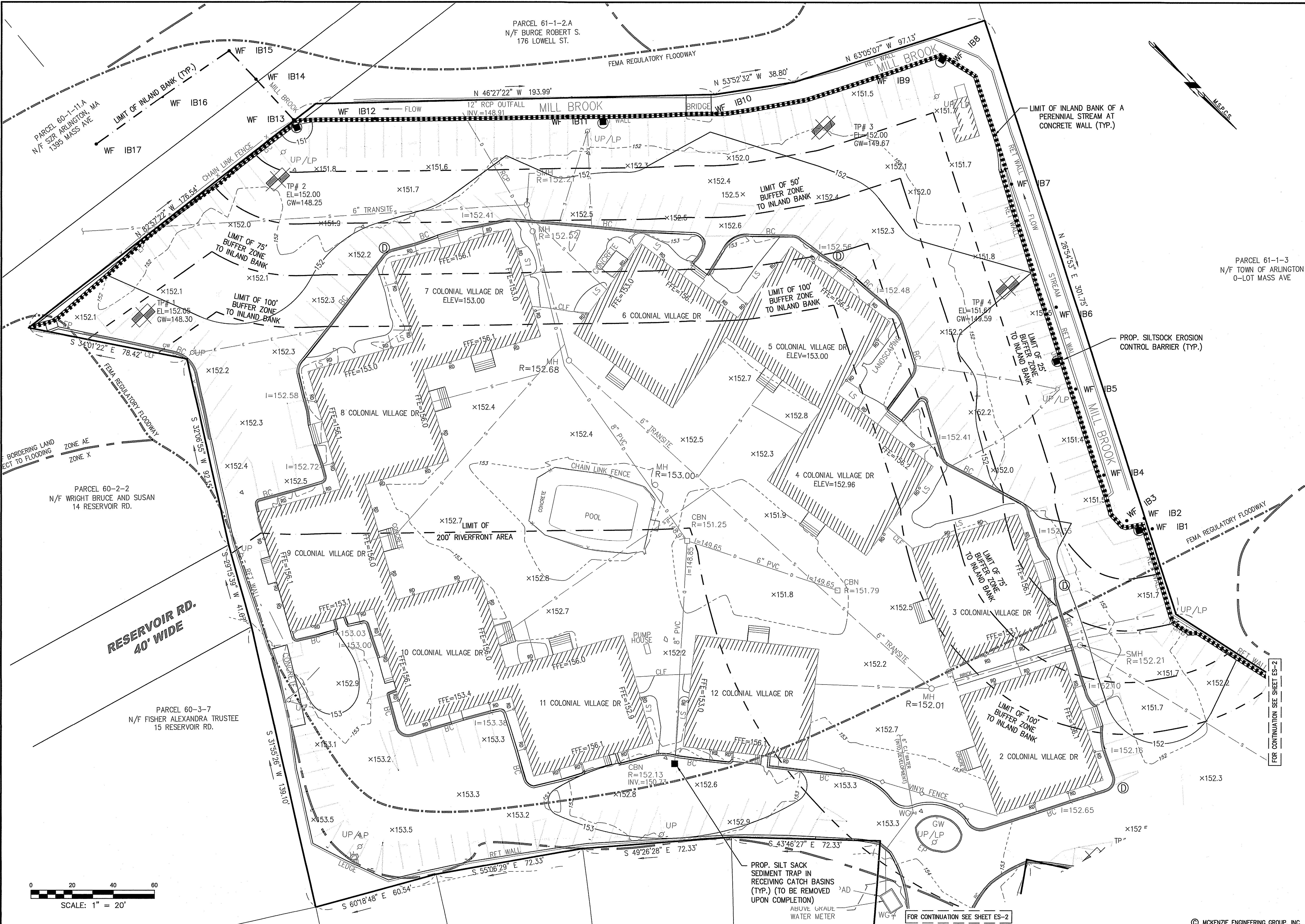
REV	DATE	DESCRIPTION	BY APP
1	3/8/2022	REVISED PER ENG.	RP/ BOM

PREPARED BY:
MEG
MCKENZIE
ENGINEERING GROUP
Assinippi Center Park
150 Lincoln Drive, Suite 101
Newton, MA 02461
P: 781.732.3900
www.mckeng.com

PROFESSIONAL ENGINEER:


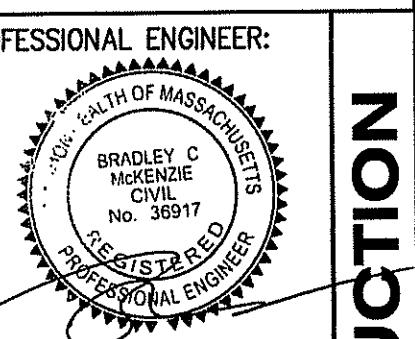
APPLICANT:
Colonial Village Condominium Trust
15 Tremont Street PH1
Boston, MA 02111

DRAWN BY:	RPL
DESIGNED BY:	AJC
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	12/13/2021
SCALE:	1"-20'
PROJECT NO.:	221-155
DWG. TITLE:	Erosion & Sedimentation Control Plan
DWG. NO.:	



REV	DATE	DESCRIPTION	BY APP
		REVISED PER ENG.	RPL BOM
PREPARED BY:			
MEG MCKENZIE ENGINEERING GROUP Assinippi Office Park 150 Longmeadow Drive, Suite 101 Norwell, MA 02061 P: 781.792.3900 www.mckeng.com			

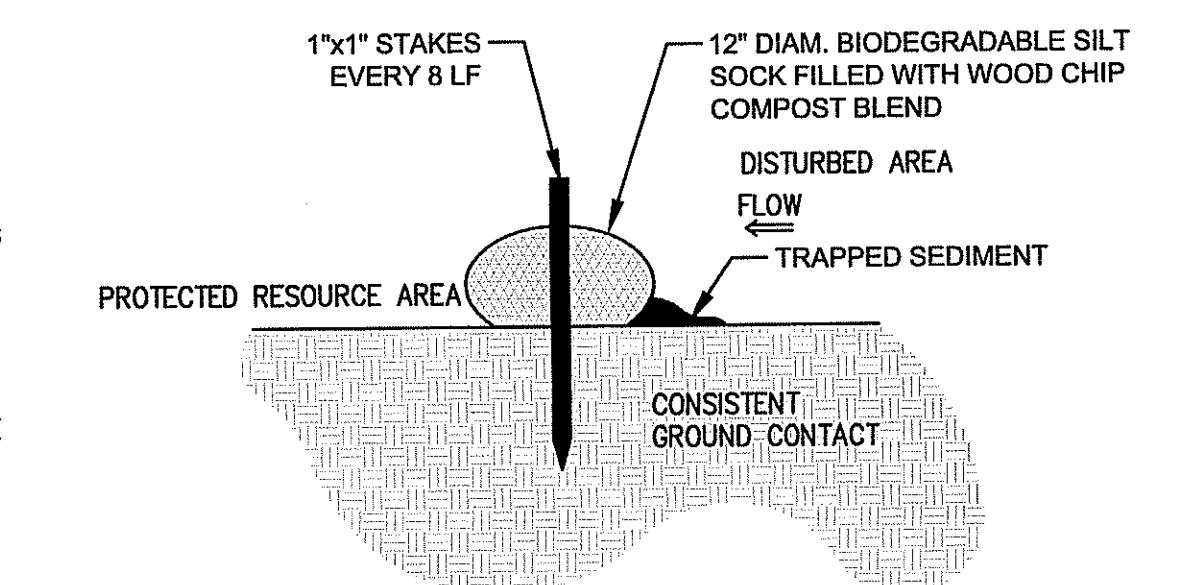
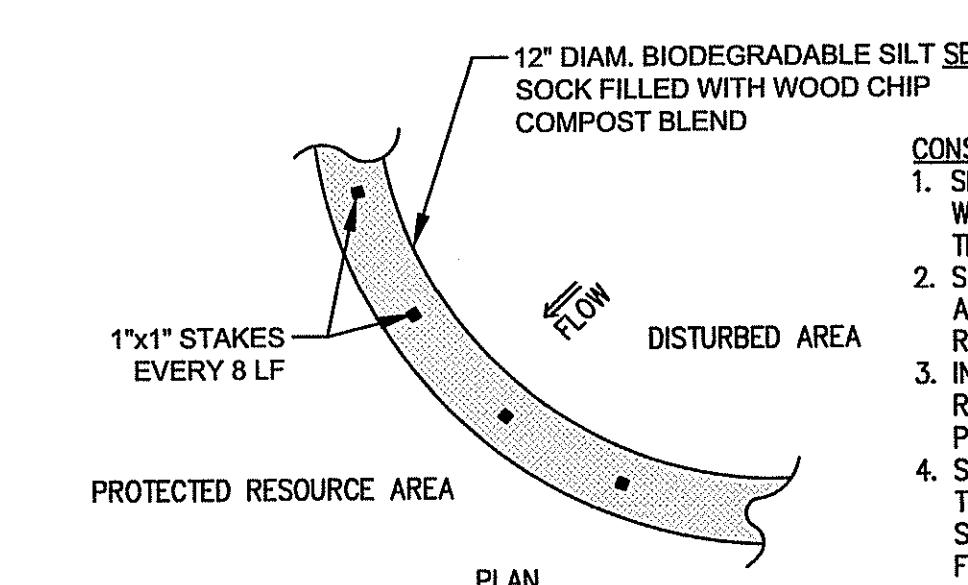
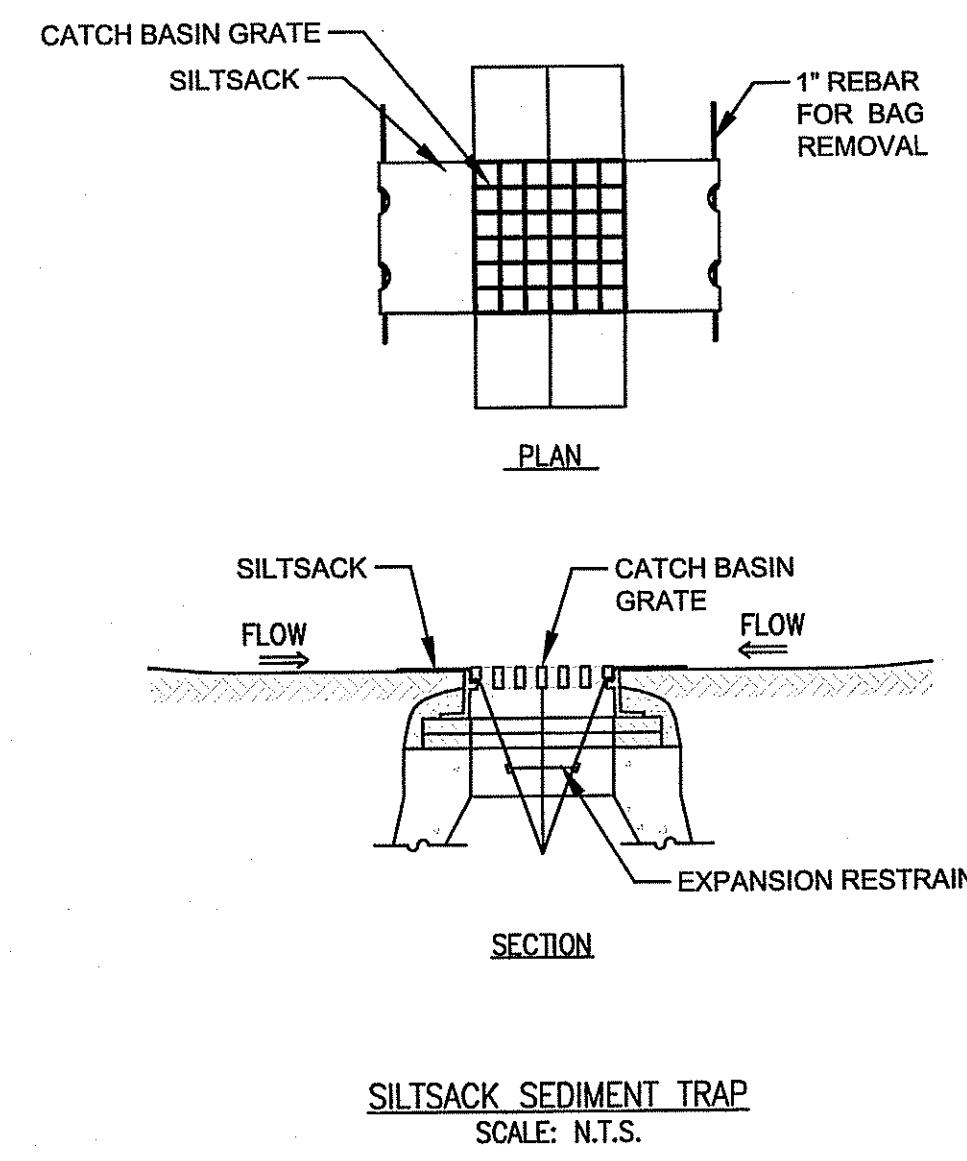
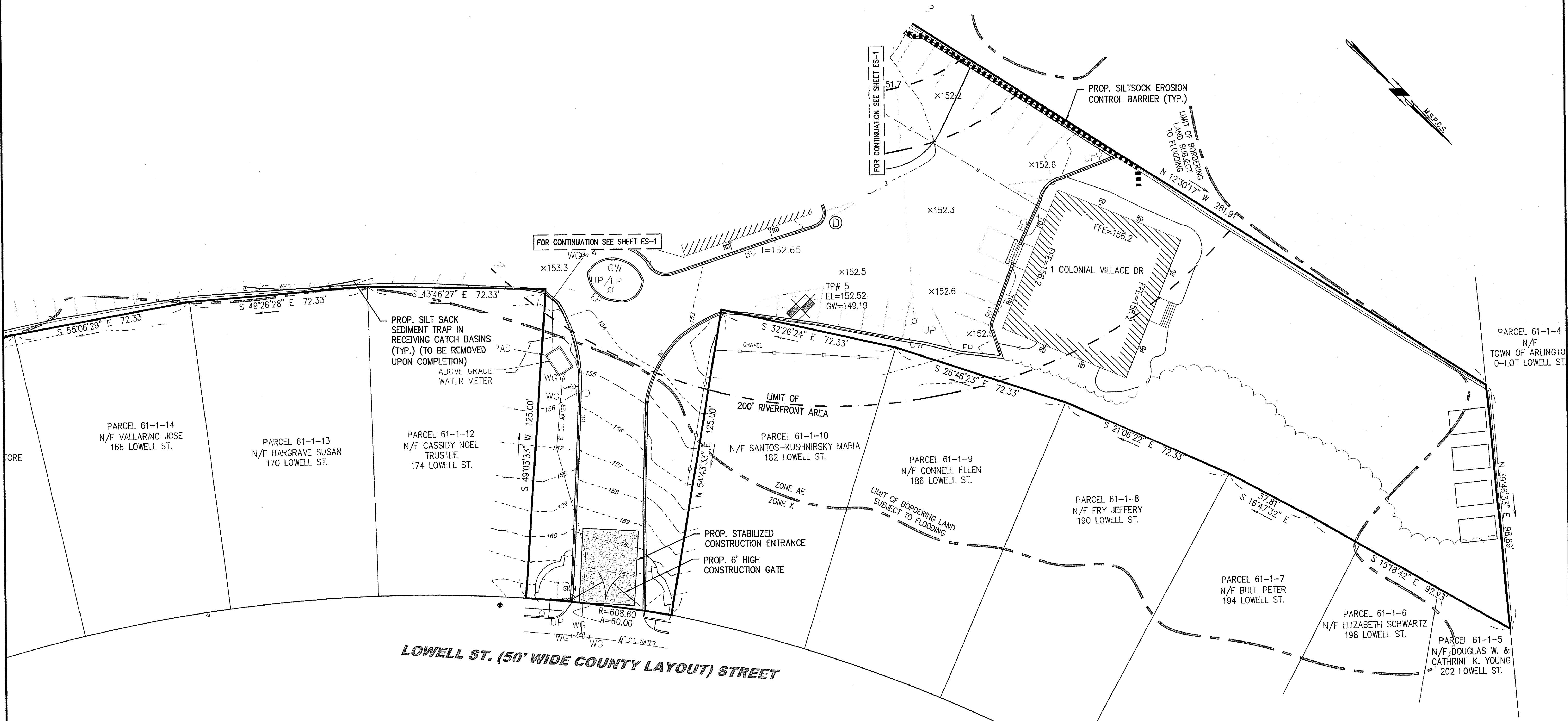
**PARKING LOT RECONSTRUCTION
COLONIAL VILLAGE DRIVE**
(APN 061-A-11 THROUGH 061-A-12-12)
ARLINGTON, MASSACHUSETTS



APPLICANT:
Colonial Village Condominium Trust
15 Tremont Street Ph1
Boston, MA 02111

DRAWN BY: RPL
DESIGNED BY: AJC
CHECKED BY: BCM
APPROVED BY: BCM
DATE: 12/13/2021
SCALE: 1"-20'
PROJECT NO.: 221-155
DWG. TITLE:

Erosion & Sedimentation Control Plan
DWG. NO.: ES-2



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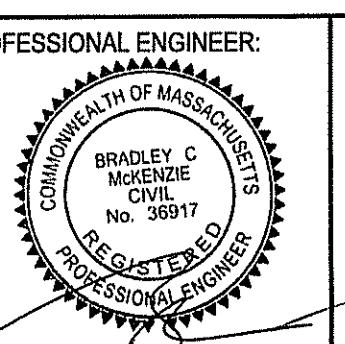
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M:\MEG\2021 PROJECTS\221-155 COLONIAL VILLAGE CONDO. TRUST - 1-12 COLONIAL VILLAGE DRIVE, ARLINGTON, MA\DWGS\221-155 MAIN-2.DWG

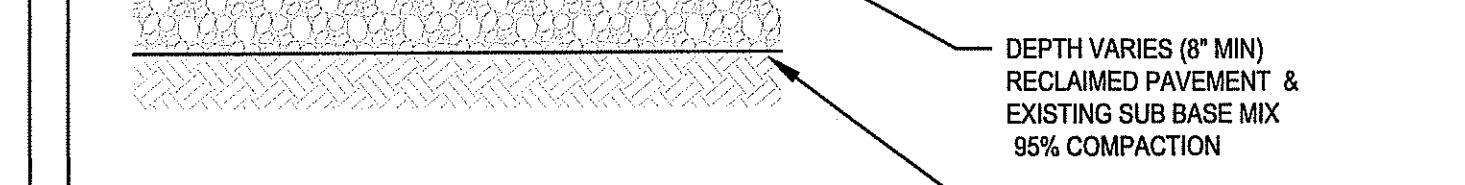
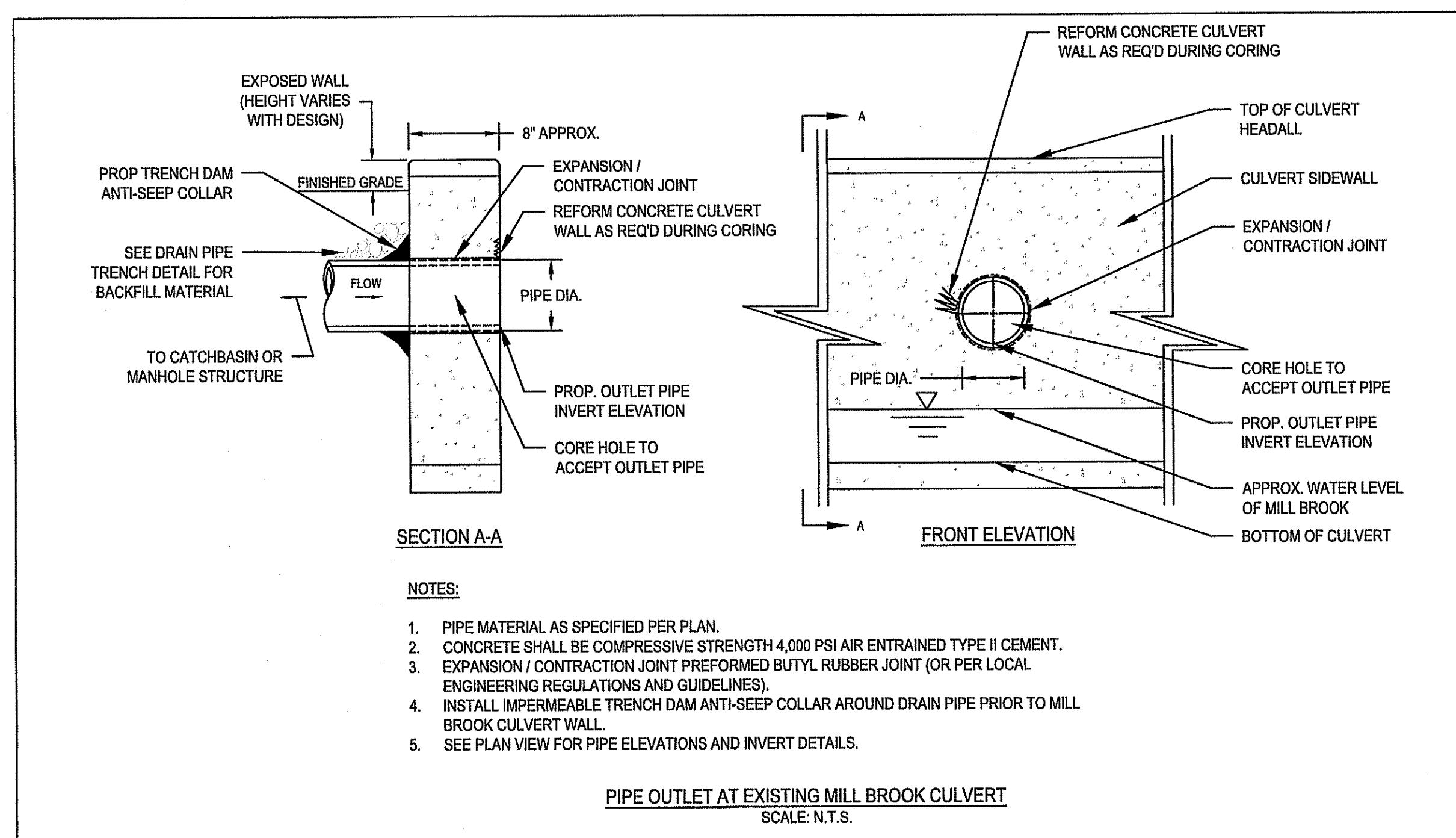
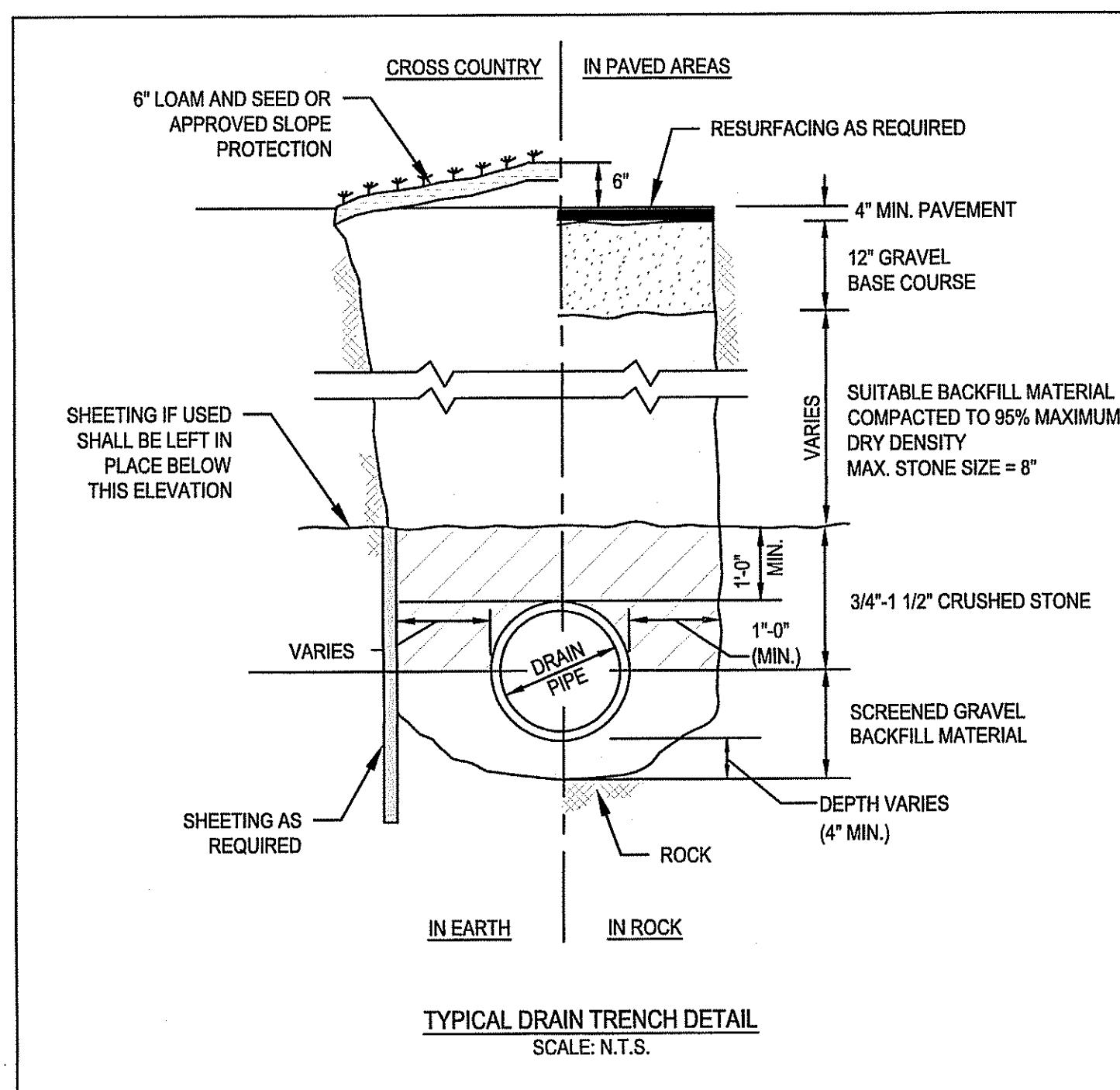
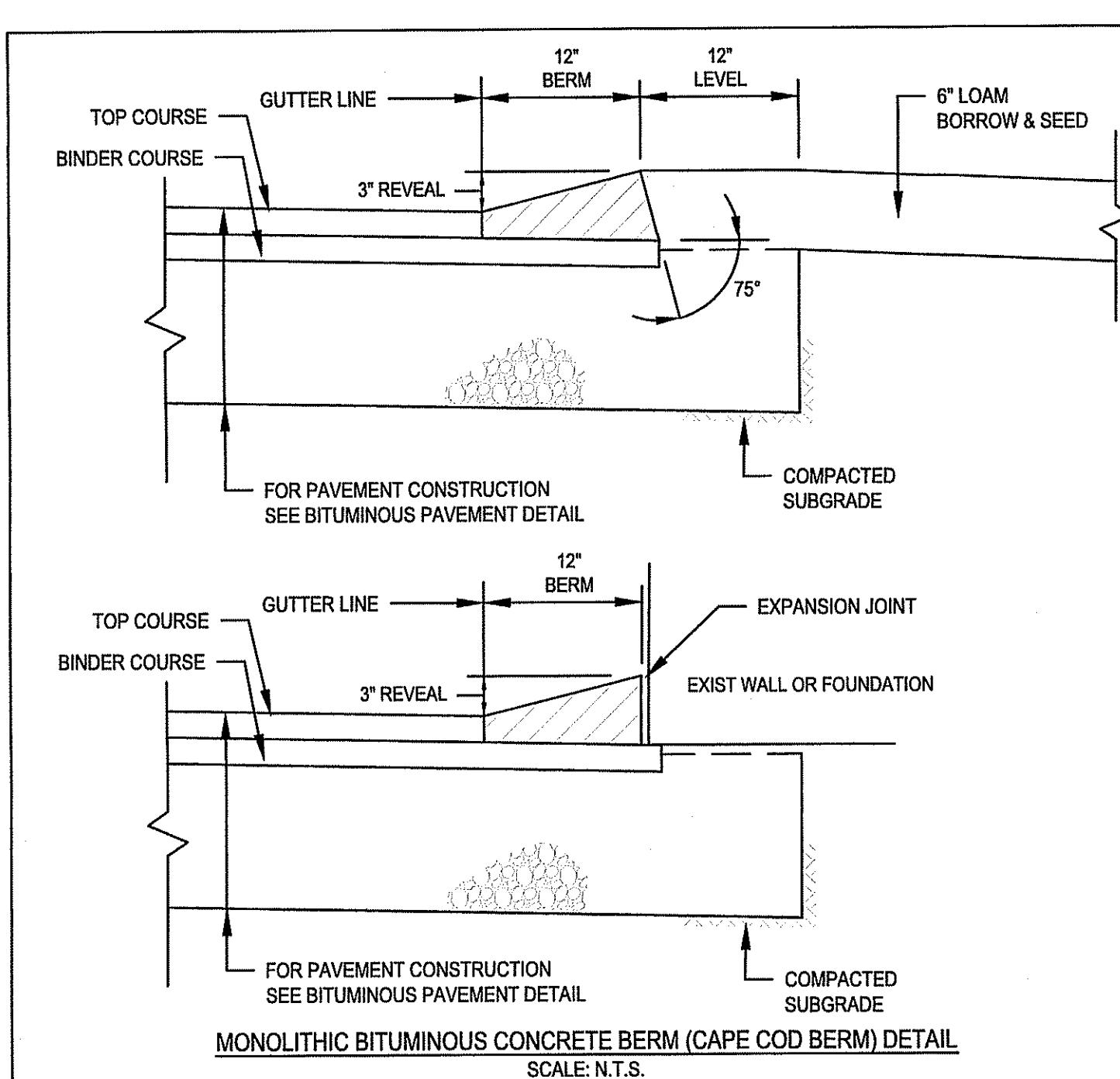
REV	DATE	DESCRIPTION	REvised PER ENG.	BY APP
1	3/8/2022			RPL BGM

**PARKING LOT RECONSTRUCTION
COLONIAL VILLAGE DRIVE
(APN 061-A-1-1 THROUGH 061-A-12-12)
ARLINGTON, MASSACHUSETTS**



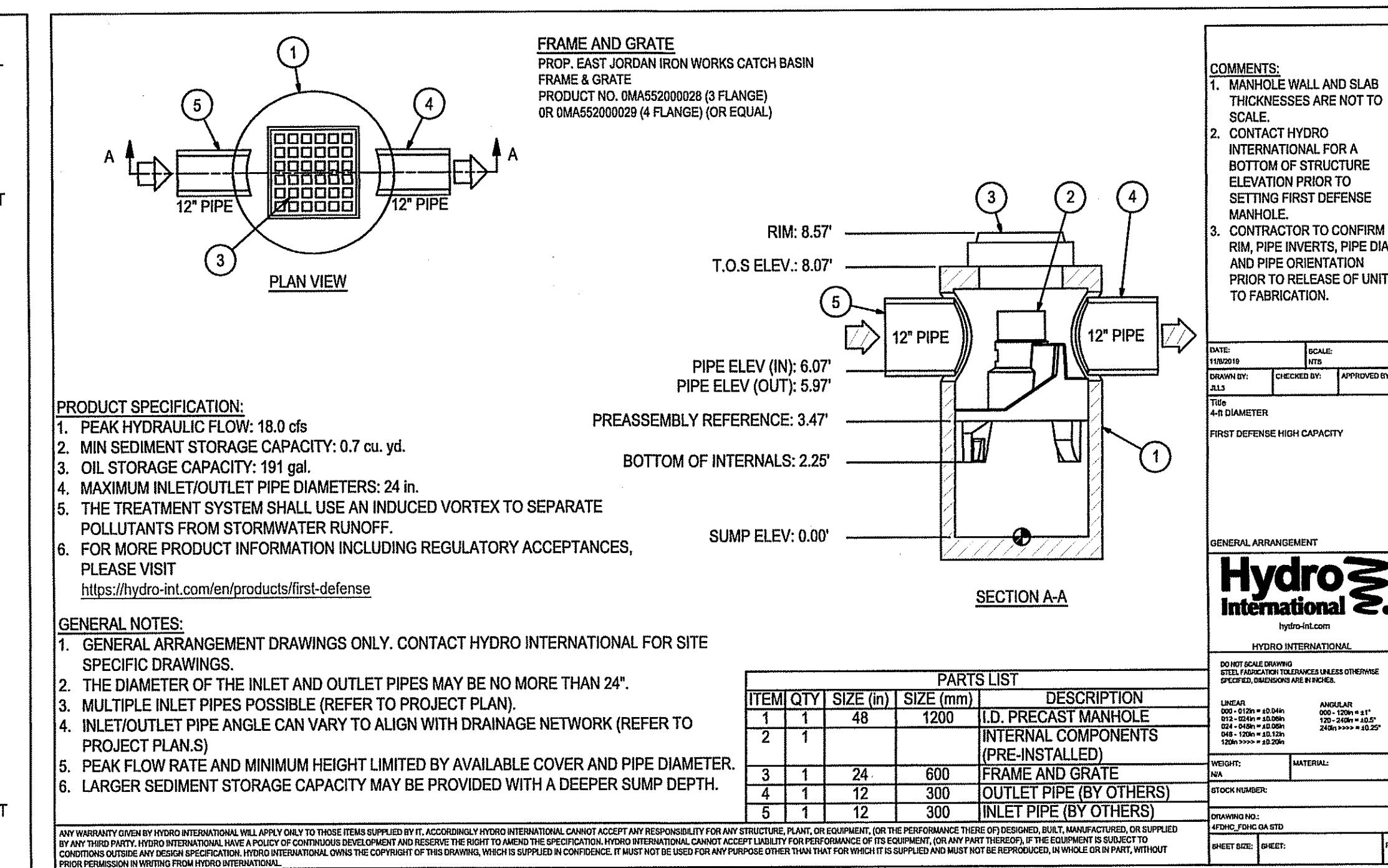
NOT FOR CONSTRUCTION

D-1



CONSTRUCTION NOTES:

- 1) FULL DEPTH RECLAMATION SHALL CONSIST OF THE FOLLOWING:
 - PRIOR TO RECLAMATION, THE CONTRACTOR SHALL LOCATE AND PROTECT ALL DRAINAGE AND UTILITY STRUCTURES, UNDERGROUND PIPES, CONDUITS AND OTHER APPURTENANCES.
 - THE CONTRACTOR SHALL COMMENCE SCRAPPING AND PULVERIZING OF THE EXISTING BITUMINOUS PAVEMENT AND UNDERLYING BASE MATERIAL TO A TOTAL DEPTH OF 12 INCHES BELOW THE EXISTING PAVEMENT SURFACE. THIS RECLAMED MATERIAL SHALL BE HOMOGENOUS AND CONFORM TO THE MASSDOT M1.03 TYPE B MATERIAL SPECIFICATION.
 - THE RECLAMED BASE MATERIAL SHALL BE GRADED AND COMPACTED, IN LIFTS NO GREATER THAN 6 INCHES IN DEPTH, TO THE PROPOSED FINISHED GRADE BELOW THE HOT MIX ASPHALT SECTION (4 INCHES BELOW FINISHED PAVEMENT GRADE).
 - AT NO POINT SHALL THE BASE COURSE DEPTH (RECLAMED MATERIAL DEPTH PLUS REMAINING EXISTING BASE MATERIAL) BE LESS THAN 15 INCHES.
 - EXCESS RECLAMED BASE MATERIAL SHALL BE STOCKPILED AND REMOVED FROM THE SITE.
 - MASSDOT SPECIFICATION 403 "RECLAMED BASE COURSE" SHALL DICTATE ALL REQUIREMENTS FOR THE RECLAMATION PROCESS AND MATERIALS STANDARDS.



GENERAL UTILITY & CONSTRUCTION NOTES:

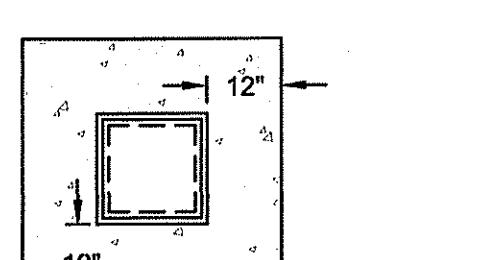
- 1) THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- 3) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE MASSDOT CONSTRUCTION SPECIFICATIONS AND DETAILS FOR ALL CONSTRUCTION. ANY DEVIATION FROM THE APPROVED SPECIFICATIONS AND DETAILS MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- 4) ANY ERRORS OR OMISSIONS IN THE DESIGN PLANS DISCOVERED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO COMPLETING RELATED WORK.
- 5) ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM.
- 6) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 7) ALL EXISTING SIGNS, BOLLARDS AND BOULDERS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS OTHERWISE NOTED.
- 8) JOINTS BETWEEN THE NEW HOT MIX ASPHALT ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSAND.
- 9) ALL EXISTING DRAINAGE GRATES AND COVERS AND WATER GATES SHALL BE ADJUSTED TO FINISHED GRADE.
- 10) ALL PROPOSED PEDESTRIAN ACCOMMODATIONS (I.E. SIDEWALKS, WHEELCHAIR RAMPS, ETC.) SHALL COMPLY WITH CURRENT ADA & MAAB RULES AND REGULATIONS AND MASSDOT STANDARDS.
- 11) ALL DRAINAGE STRUCTURES WITHIN THE LIMITS OF WORK SHALL BE CLEANED PRIOR TO THE CONCLUSION OF THE PROJECT UNLESS OTHERWISE NOTED.
- 12) ALL EXISTING PAVEMENT MARKINGS AND STRIPING SHALL BE REPLACED, IN KIND, FOLLOWING PLACEMENT OF THE TOP COURSE OF PAVEMENT. ALL PAINTING SHALL COMPLY WITH MASSDOT SPECIFICATION 860 "REFLECTORIZED PAVEMENT MARKINGS" AND MUTCD STANDARDS.

NOTES:

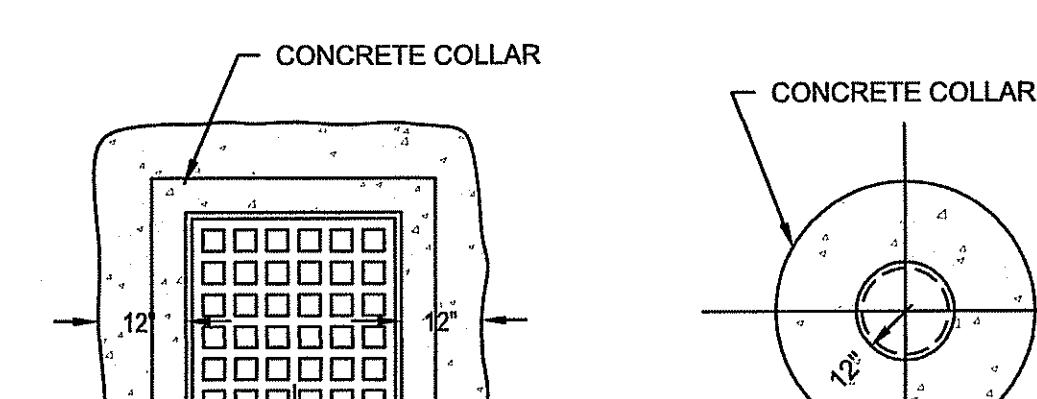
- 1.) ALL DRAINAGE STRUCTURE ADJUSTMENTS SHALL CONFORM TO MASSDOT SPECIFICATION 220 "ADJUSTMENT, REBUILDING AND REMODELING OF DRAINAGE STRUCTURES" AND ALL OTHER APPLICABLE SPECIFICATIONS.
- 2.) IF CATCH BASIN FRAME OR GRATE IS DAMAGED, NEW CASTING MUST CONFORM TO MASSDOT SPECIFICATION 201 "BASINS, MANHOLES AND INLETS".

DETAILS FOR ADJUSTING ROADWAY CASTINGS

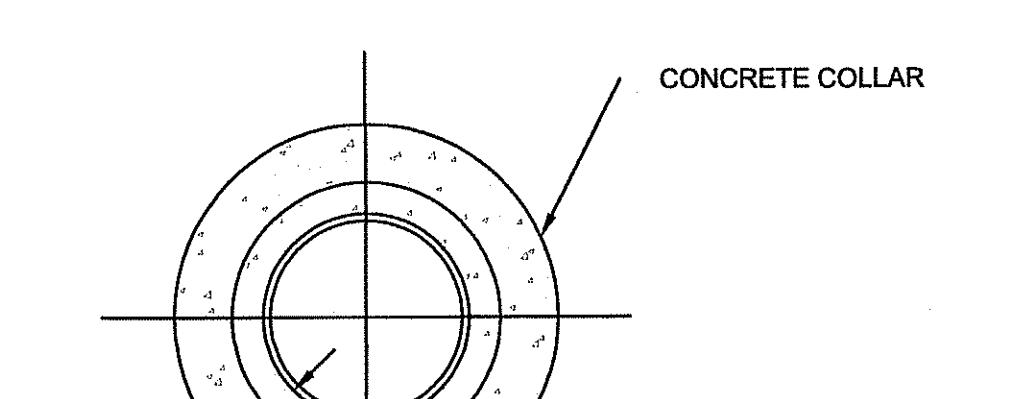
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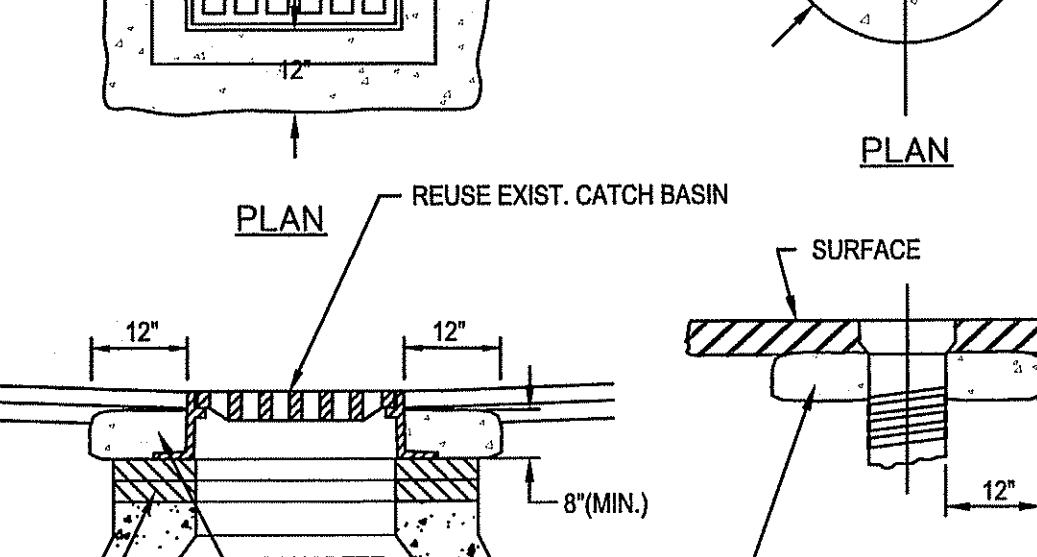
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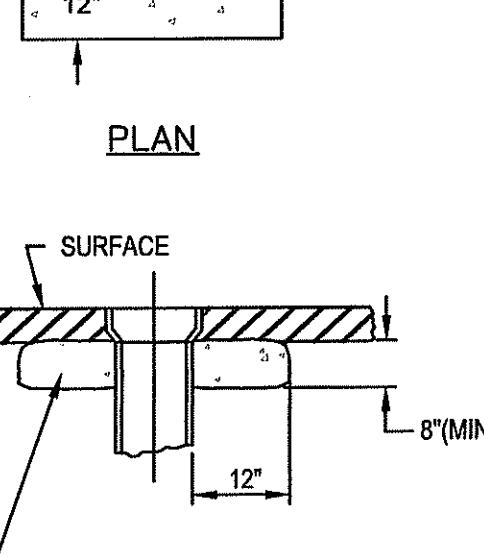
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SECTION



CATCH BASINS



SECTION

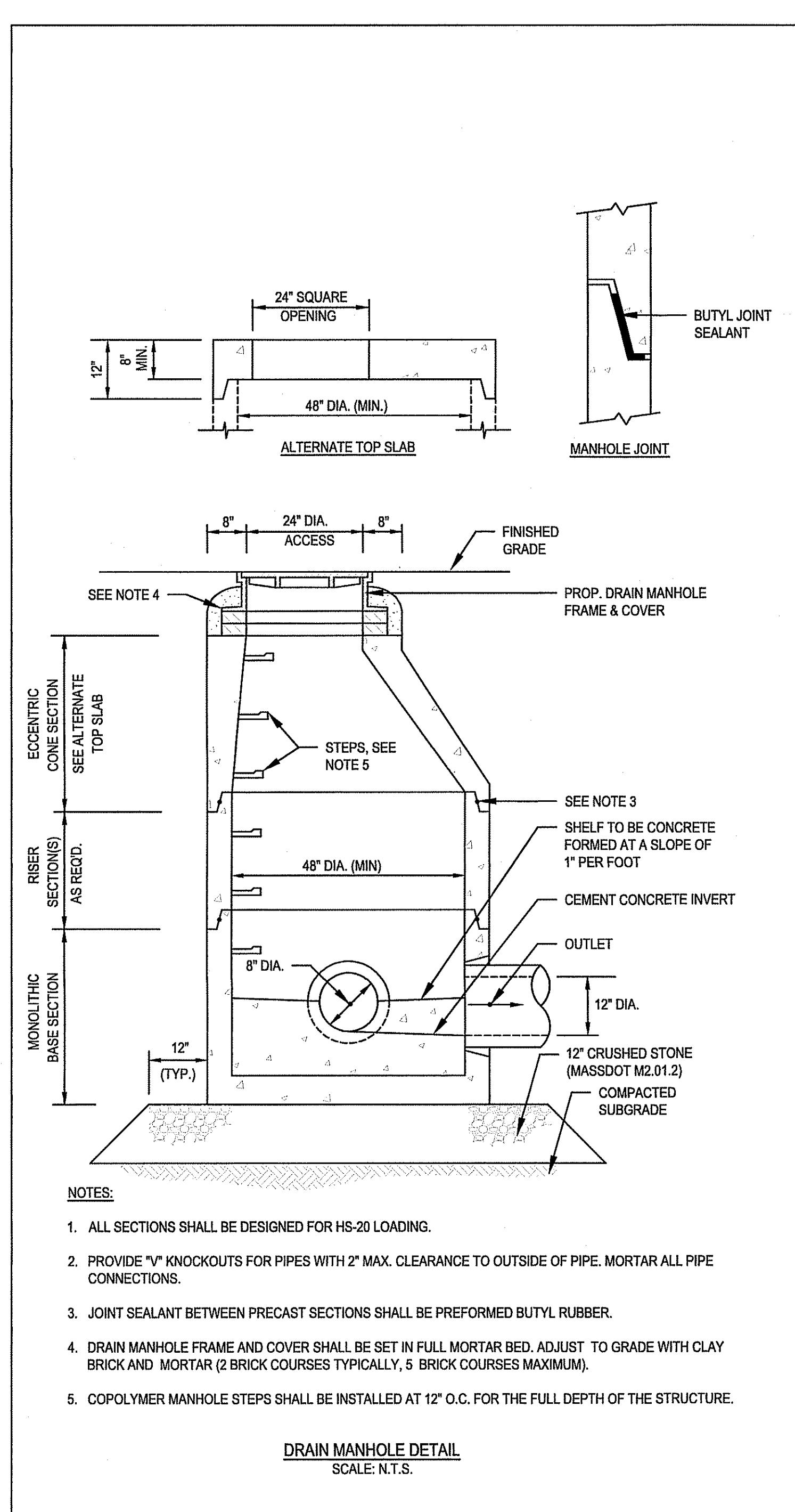


DWG. NO:

D-1

M:\MEG\2021 PROJECTS\221-155 COLONIAL VILLAGE CONDO. TRUST - 1-12 COLONIAL VILLAGE DRIVE, ARLINGTON, MA\DWG\221-155 DETAIL SHEETS.DWG

47 of 48



**PARKING LOT RECONSTRUCTION
COLONIAL VILLAGE DRIVE
(APN 061.A-1-1 THROUGH 061.A-12-12)**

(APN 061.A-1-1) THROUGH 061.A-12-12)
CARLINGTON, MASSACHUSETTS

APN 061.A-1-1 THROUGH 061.A-12-12)

1100 J. Neurosci., November 1, 2006 • 26(44):1092–1100

1000

15 Tremont Street PH1
Boston, MA 02111

NOT FOR CONSTR

BY:	RPL
ED BY:	RPL
ED BY:	AJC
VED BY:	BCM
12/13/2021	
NTS	
CT NO.:	221-155
TITLE:	
INSTRUCTION	
DETAILS	

115

2